



# BAYVIEW TRAIL

A U R O R A

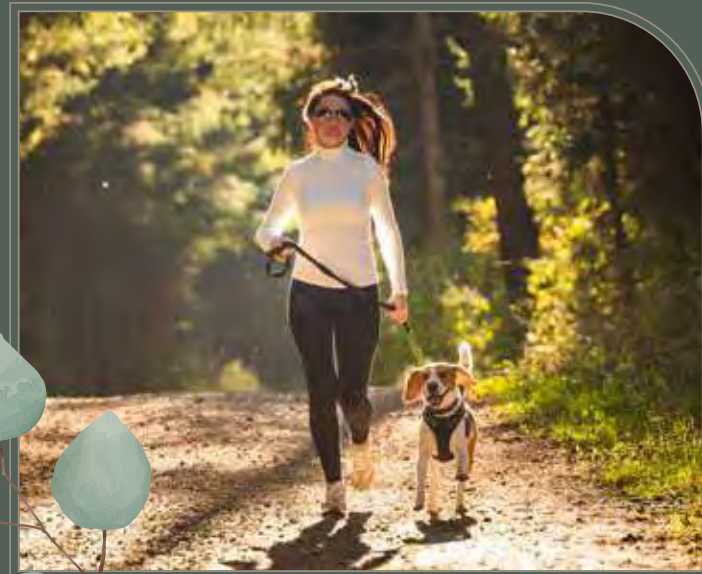
36', 40' & 45' SINGLES



BAYVIEW TRAIL  
A U R O R A



# Beautiful New Homes in Aurora



## Bayview Trail

Nestled at the crossroads of Vandorf Sideroad and Bayview Avenue, Bayview Trail is a new community of single-family homes by Starlane Homes.

Surrounded by the gorgeous woodlands of Aurora and with a wide selection of urban conveniences lining Bayview Avenue and Yonge Street nearby, Bayview Trail offers the best of the city of Aurora.

Here, beautiful green spaces and trails are right in your backyard, the heritage charm of the city's historic centres are nearby, and you'll have easy access to highways and exceptional transit.

**Follow the trail, find your perfect home.**



BAYVIEW TRAIL

## A Community Built on Quality

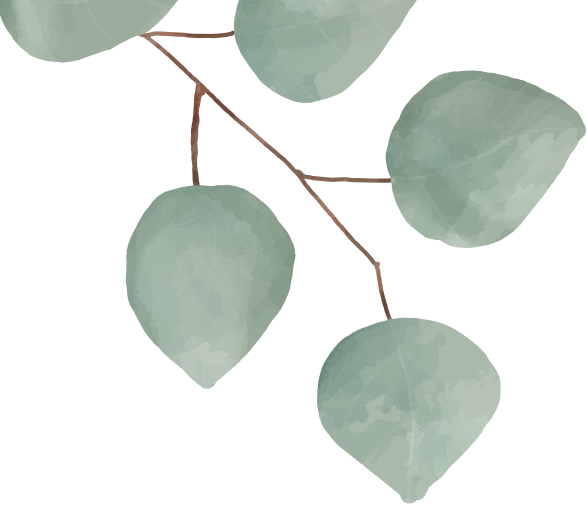
Starlane Homes has earned a reputation over the decades for building world-class homes across the GTA. Bayview Trail is the latest addition to that impressive portfolio. Each home represents a culmination of years of homebuilding excellence — from the architecture, to material selection, to craftsmanship, and more.

Every home boasts an exceptional range of modern features built to enhance your lifestyle. Expansive windows invite natural light into your spacious interiors. Meticulously crafted kitchens blend form with function. Roomy bedrooms with ensuites allow you to unwind in peace.

Our homes boast a variety of layouts, which means there's a perfect match for every family. Whether you're hosting a grand dinner party or enjoying a quiet evening in your backyard, the homes of Bayview Trail will provide the perfect backdrop.



STARLANE HOMES



LOCATED AT

# Bayview Avenue & Vandorf Sideroad



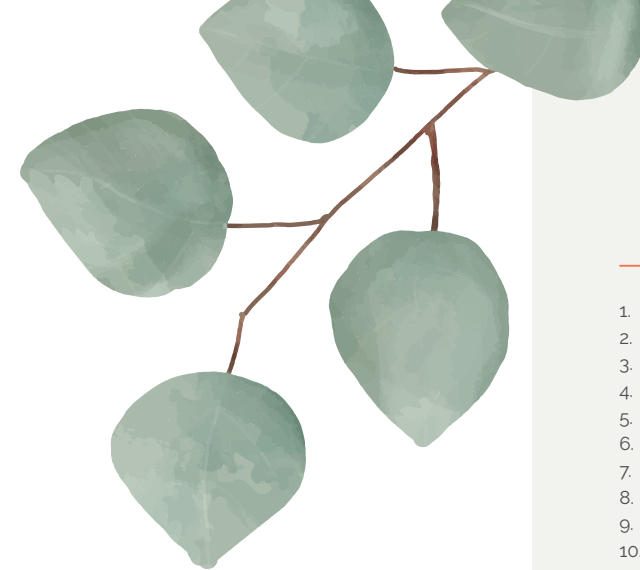
# Urban Living Surrounded by Nature



Vandorf Sideroad and Bayview Avenue are gateways to an array of amenities, from gourmet restaurants and chic boutiques to essential services and prestigious schools. With easy access to Highway 404 and the nearby GO station, the community also offers seamless connectivity to the Greater Toronto Area.

The homes of Bayview Trail are also surrounded by some of Aurora's most beloved natural areas, such as Ada Johnson Park with its playground, splash pad, and sports areas. Lambert Wilson Park offers plenty of outdoor activities, including softball, baseball, a skate park, and sand volleyball courts.

The Aurora Community Arboretum is a lush oasis with ponds and a river, ideal for birdwatching, picnicking, and leisurely strolls. Or explore David Tomlinson Nature Reserve, with its extensive trails, wetlands, and marshes.



## AMENITIES

### RETAIL

- |  |                                |
|--|--------------------------------|
| 1. Centra Food Market                    | 14. Bayview North Center Plaza |
| 2. St Andrews Shopping Centre            | 15. PetSmart                   |
| 3. Shoppers Drug Mart                    | 16. Sobseys Extra Aurora       |
| 4. Dollarama                             | 17. Aurora Centre              |
| 5. Aurora Centre                         | 18. Canadian Tire              |
| 6. Staples                               | 19. Mark's                     |
| 7. Joe & Val's NOFRILLS Aurora           | 20. The Home Depot             |
| 8. TK HOME Aurora                        | 21. Aurora Gateway Centre      |
| 9. LCBO                                  | 22. Longo's Aurora             |
| 10. Metro                                | 23. Walmart Supercentre        |
| 11. Aurora Home Hardware Building Centre | 24. SmartCentres Aurora North  |
| 12. T&T Supermarket Aurora               | 25. Best Buy                   |
| 13. Real Canadian Superstore             | 26. Farm Boy                   |
|  | 27. Winners & HomeSense        |

### RESTAURANTS + ENTERTAINMENT

- |                                      |                                      |
|--------------------------------------|--------------------------------------|
| 1. Joia Ristorante                   | 16. Baskin-Robbins                   |
| 2. Subway                            | 17. Harvey's                         |
| 3. Hurst Bakery                      | 18. Bunchberry Diner                 |
| 4. Shawarma Land                     | 19. Kid's Cuckoos Nest               |
| 5. Pizzaville                        | 20. Fishbone Kitchen + Bar           |
| 6. Aw, Shucks! Oyster Bar & Bistro   | 21. Wendy's                          |
| 7. Romy's Restaurant & Lounge        | 22. Chocolats Favoris                |
| 8. Starbucks                         | 23. Edo Japan                        |
| 9. Filly & Co                        | 24. Chuck's Roadhouse Bar & Grill    |
| 10. Tim Hortons                      | 25. Cineplex Odeon Aurora Cinemas    |
| 11. Pizza Nova                       | 26. East Side Mario's                |
| 12. Locale Aurora Restaurant & Bar   | 27. COBS Bread Bakery Aurora         |
| 13. Minami Sushi Japanese Restaurant | 28. The Keg Steakhouse + Bar -       |
| 14. Dairy Queen Grill & Chill        | 29. Lee Chen Asian Bistro            |
| 15. McDonald's                       | 30. Swiss Chalet                     |
|                                      | 31. Boston Pizza                     |
|                                      | 32. Air Riderz Adventure Park Aurora |

### EDUCATION + COMMUNITY

- |  |                                  |
|--|----------------------------------|
| 1. St. Andrew's College                      | 4. Holy Spirit Elementary School |
| 2. Dr. G.W. Williams Secondary School        | 5. Aurora Grove Public School    |
| 3. St. Maximilian Kolbe Catholic High School | 6. Victoria Montessori School    |

### HEALTH + RECREATION

- |                                  |                                       |
|----------------------------------|---------------------------------------|
| 1. Aurora Community Centre       | 6. Stewart Burnett Park               |
| 2. Aurora Family Leisure Complex | 7. Stronach Aurora Recreation Complex |
| 3. Aurora Sports Dome            | 8. KC Badminton Club                  |
| 4. LA Fitness                    | 9. Aurora-Newmarket Campus            |
| 5. Marilyn Redvers Tennis Centre |                                       |



36' LOT

# Seville 1

Elevation 1 • 2,415 sq.ft. | Elevation 2 • 2,440 sq.ft. | Elevation 3 • 2,463 sq.ft.



ELEVATION 2



ELEVATION 1



ELEVATION 3

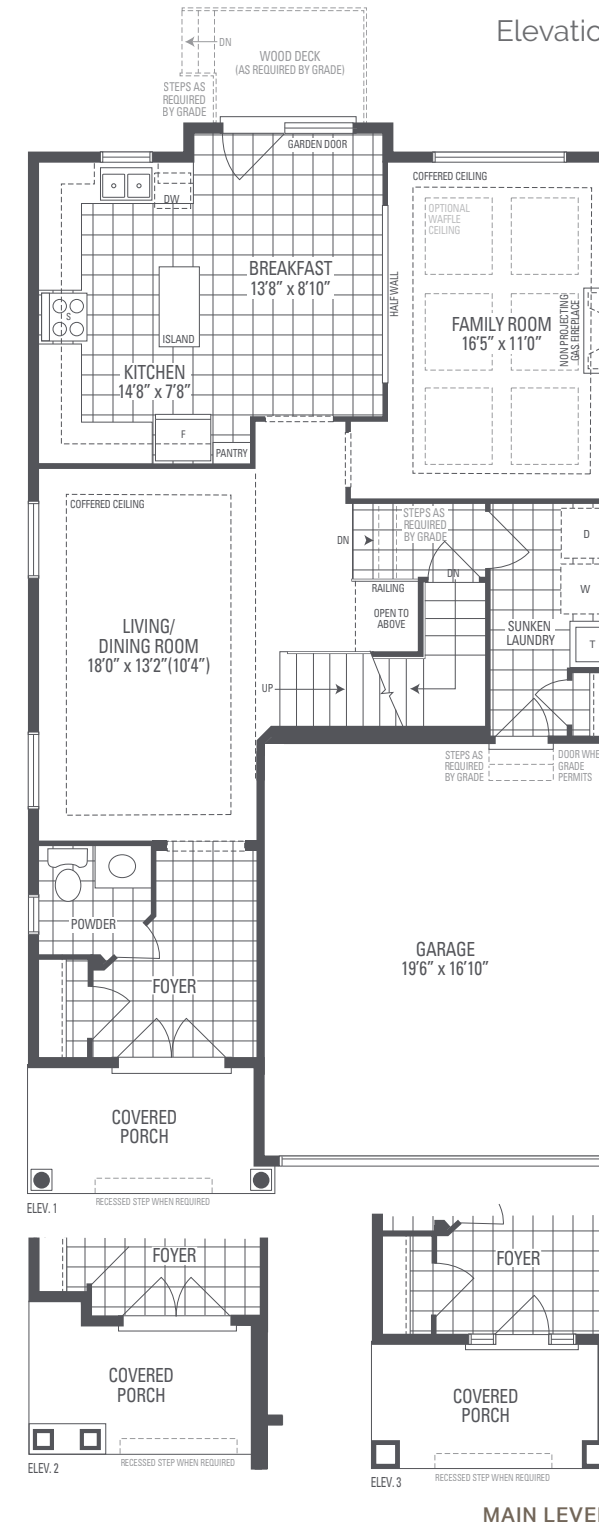
Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick + Painted Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 36' • November 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. Elevation detail will vary with 10' main level ceiling height. E.&O.E.

# Seville 1

FLOOR LAYOUTS FOR 10' MAIN LEVEL CEILING HEIGHT

Elevation 1 • 2,415 sq.ft. | Elevation 2 • 2,440 sq.ft. | Elevation 3 • 2,463 sq.ft.

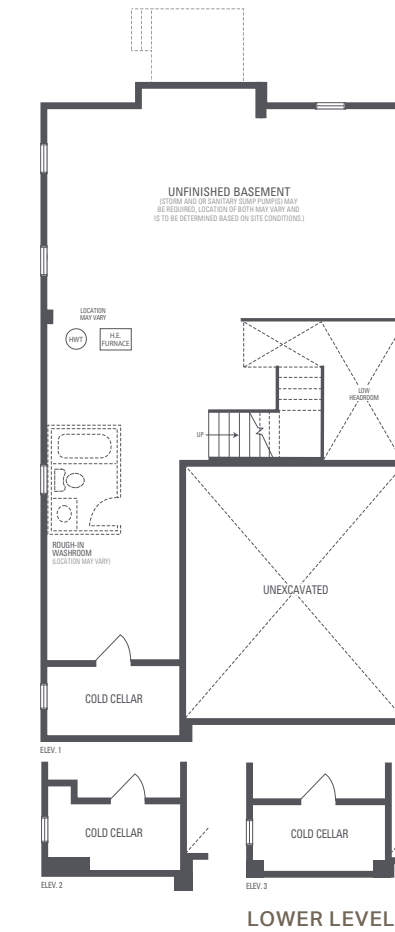


ELEV. 1

ELEV. 2

ELEV. 3

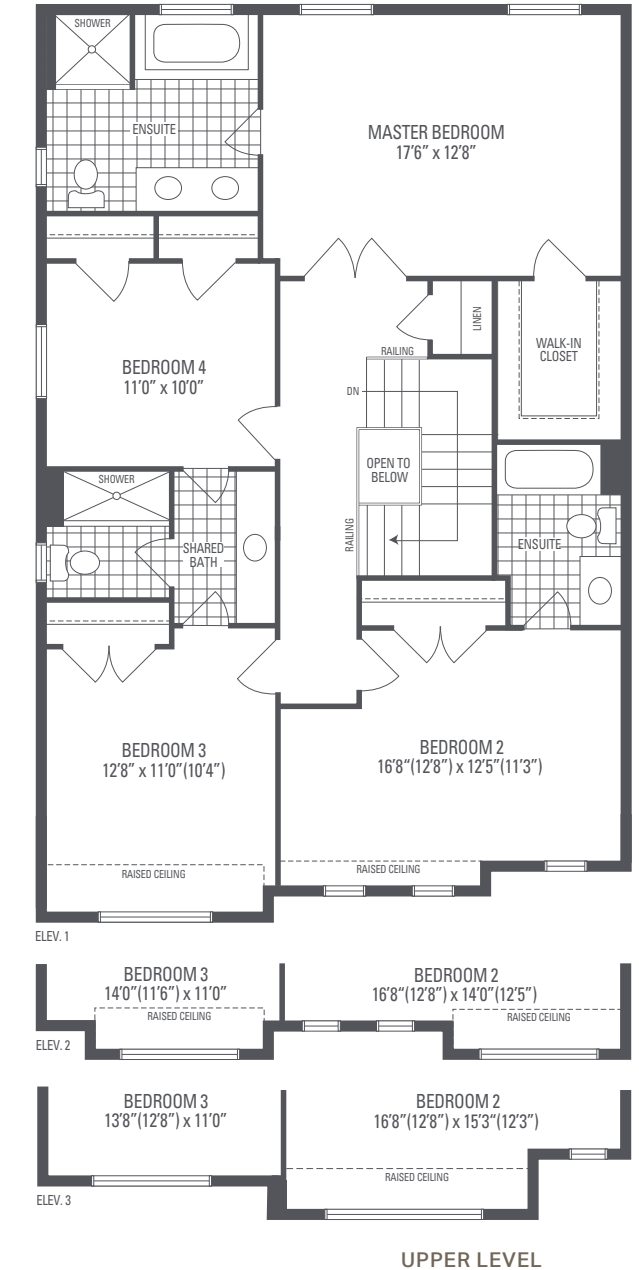
MAIN LEVEL



ELEV. 1

ELEV. 2

LOWER LEVEL



ELEV. 1

ELEV. 2

ELEV. 3

UPPER LEVEL

36' LOT

# Seville 2

Elevation 1 • 2,640 sq.ft. | Elevation 2 • 2,662 sq.ft. | Elevation 3 • 2,639 sq.ft.



ELEVATION 1



ELEVATION 2



ELEVATION 3

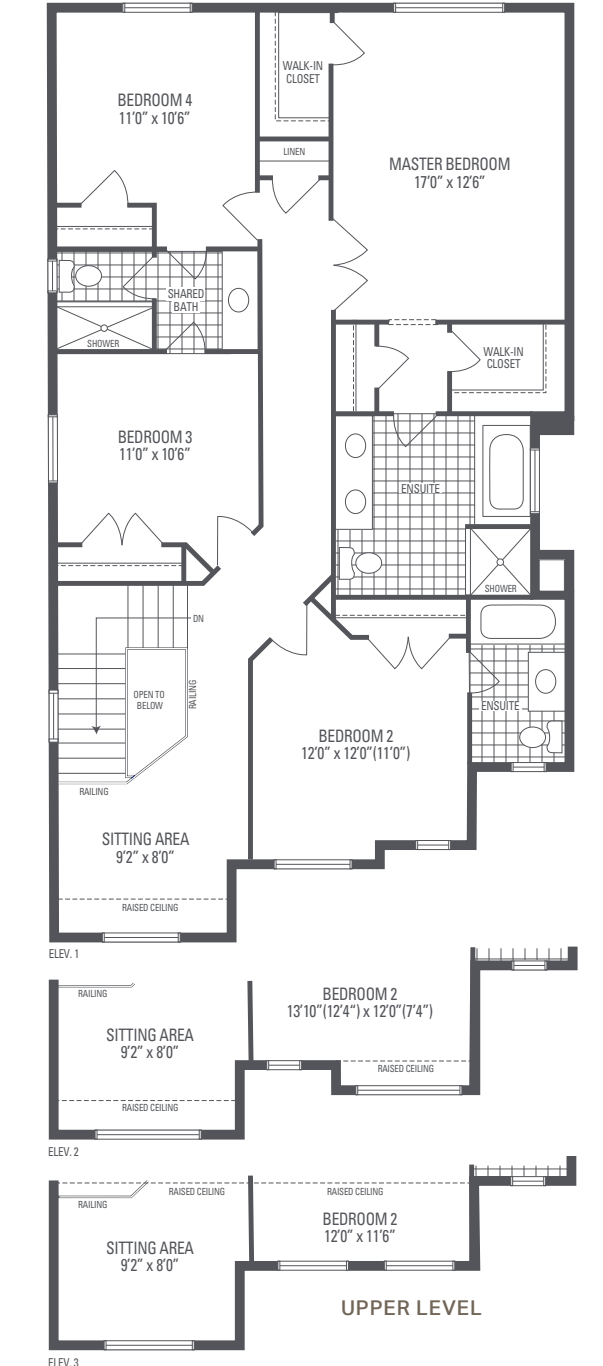
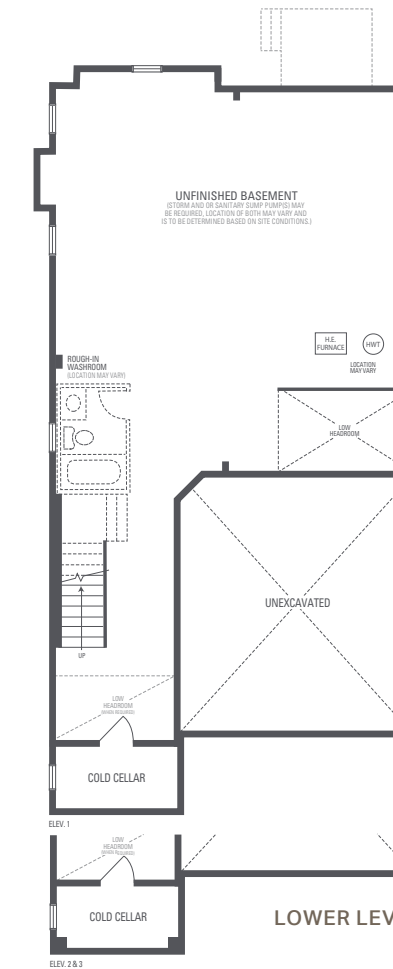
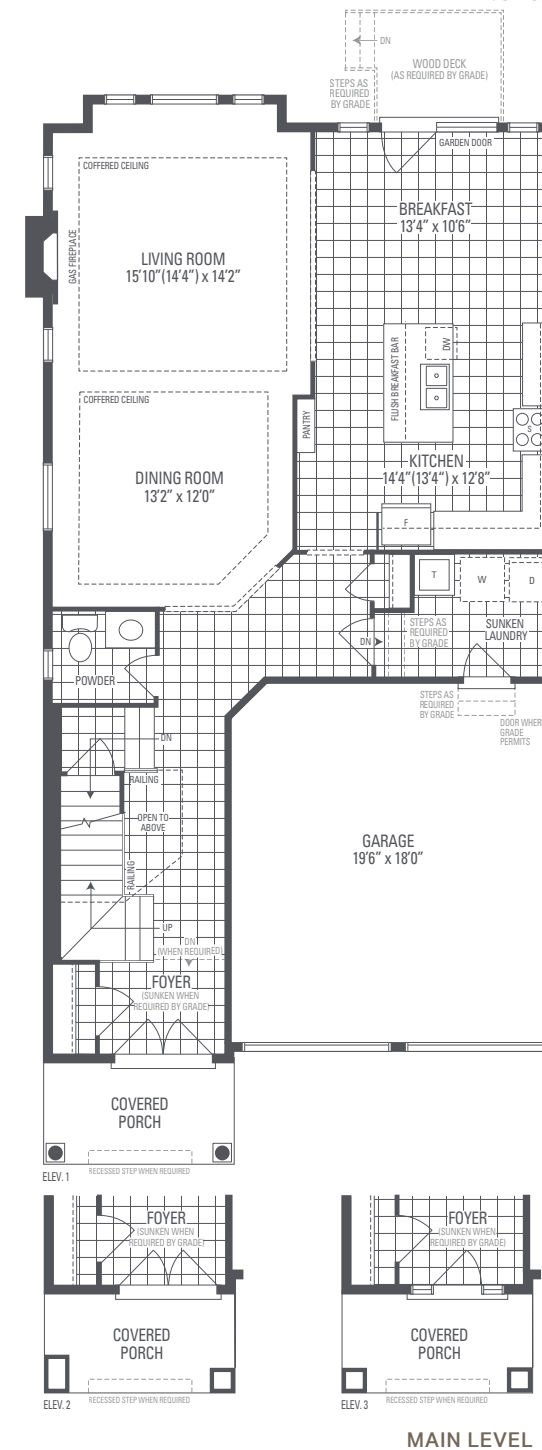
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Dancing Forests • 36' • November 2024

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# Seville 2

FLOOR LAYOUTS FOR 10' MAIN LEVEL CEILING HEIGHT

Elevation 1 • 2,640 sq.ft. | Elevation 2 • 2,662 sq.ft. | Elevation 3 • 2,639 sq.ft.



36' LOT

# Seville 3

Elevation 1 • 2,860 sq.ft. | Elevation 2 • 2,860 sq.ft. | Elevation 3 • 2,894 sq.ft



ELEVATION 1



ELEVATION 2



ELEVATION 3

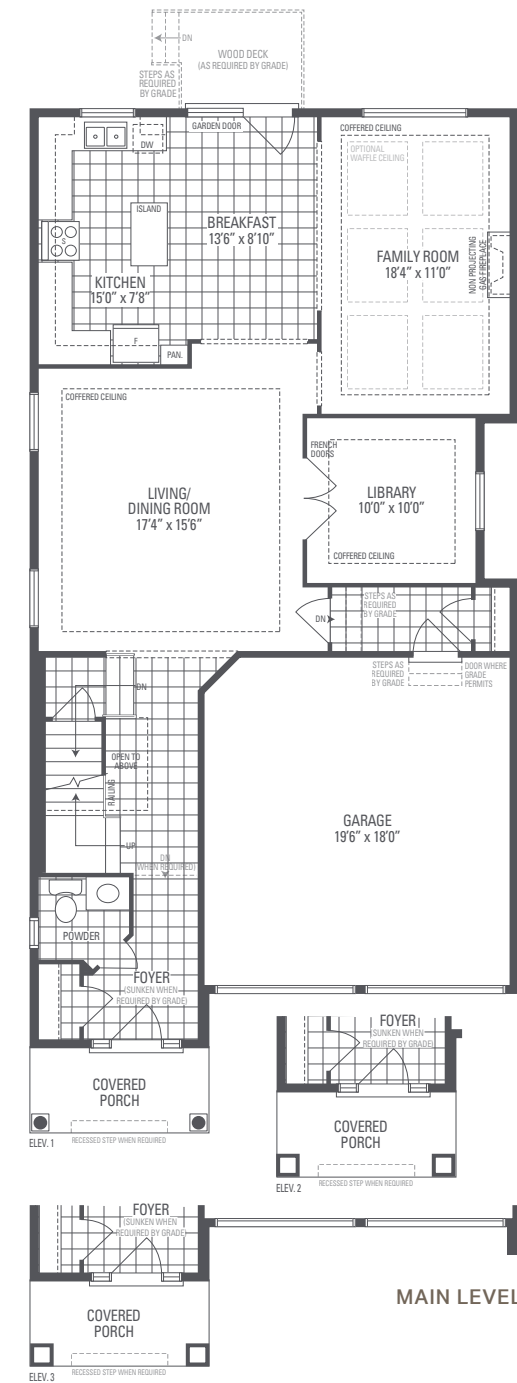
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Dancing Forests • 36' • October 2024

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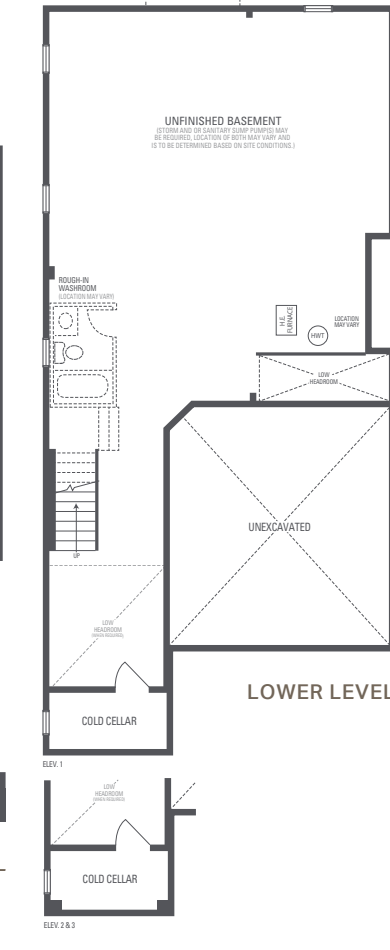
# Seville 3

FLOOR LAYOUTS FOR 10' MAIN LEVEL CEILING HEIGHT

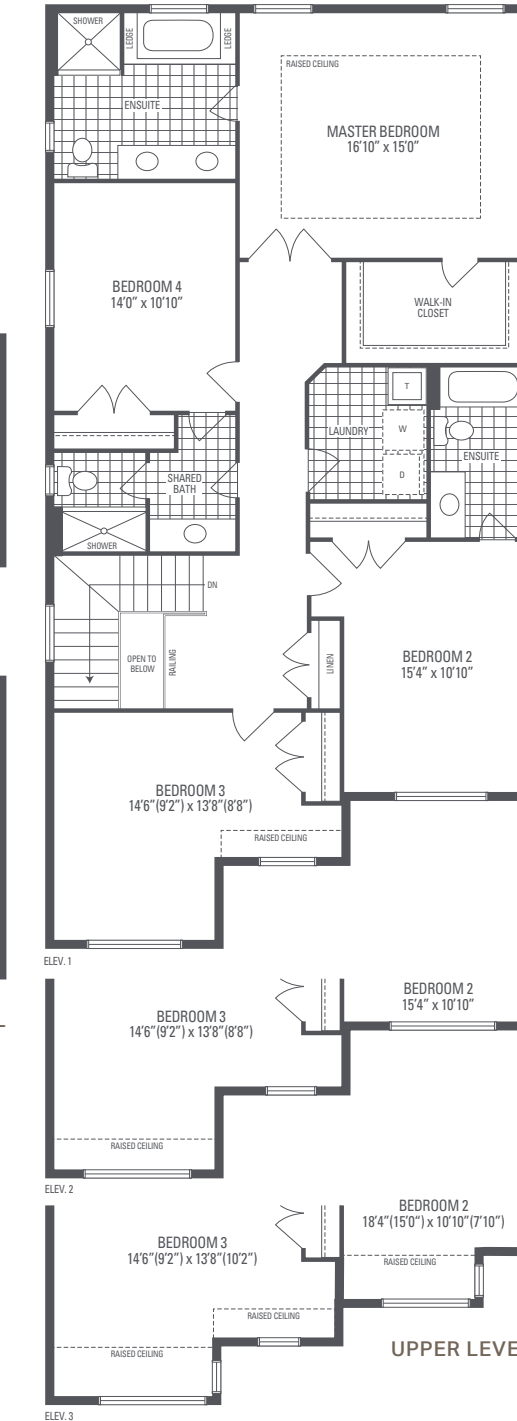
Elevation 1 • 2,860 sq.ft. | Elevation 2 • 2,860 sq.ft. | Elevation 3 • 2,894 sq.ft.



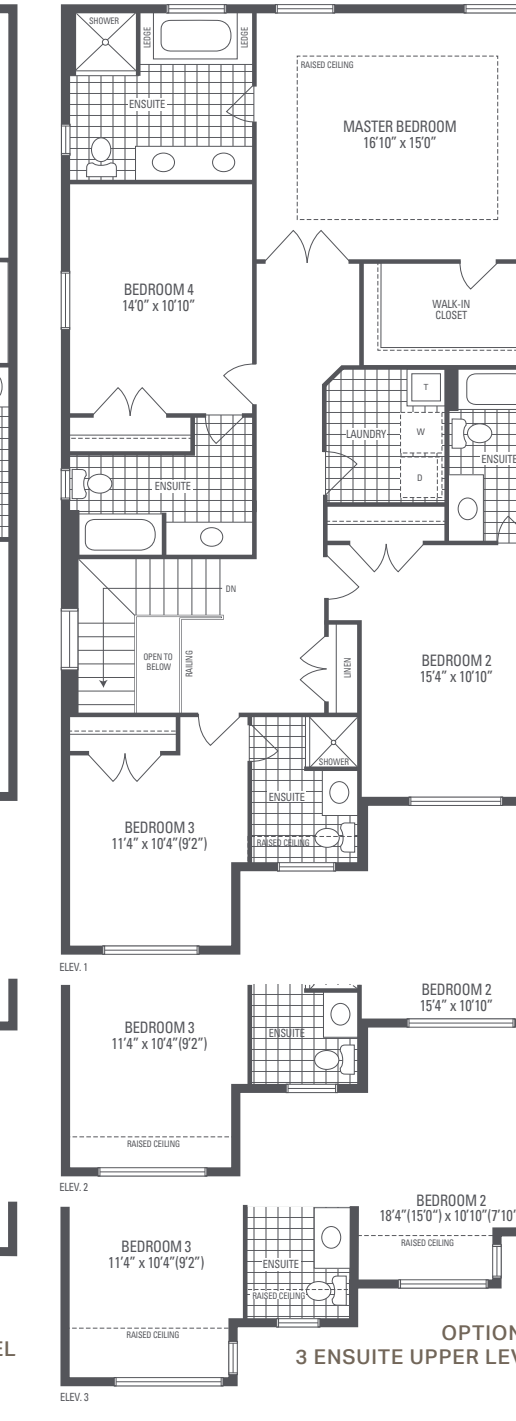
MAIN LEVEL



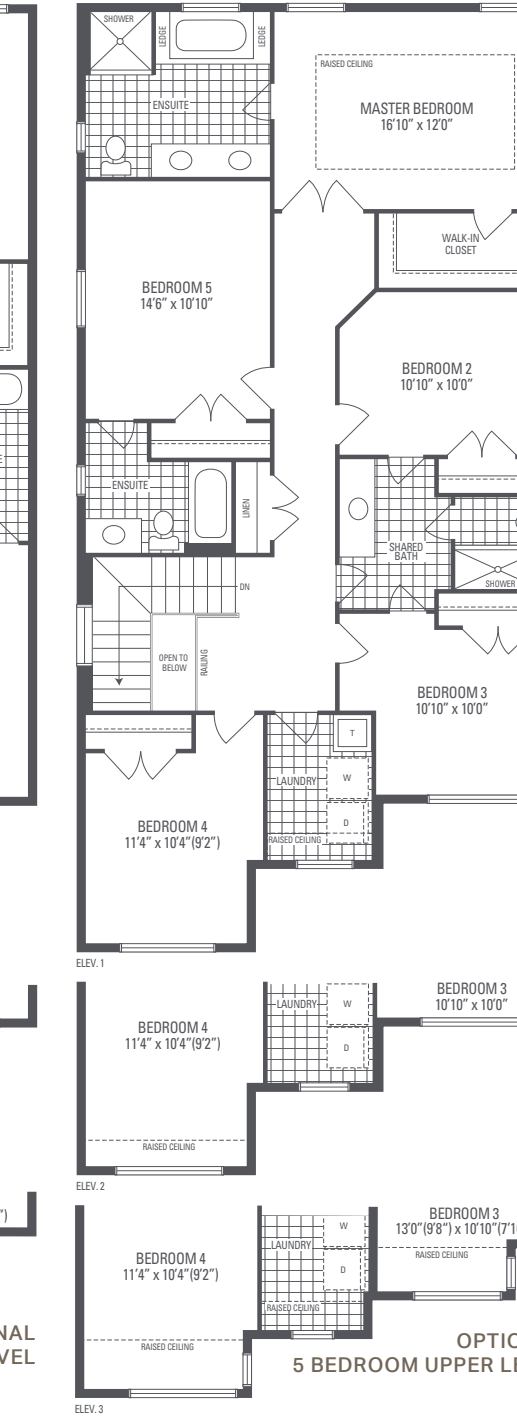
LOWER LEVEL



UPPER LEVEL



OPTIONAL 3 ENSUITE UPPER LEVEL



OPTIONAL 5 BEDROOM UPPER LEVEL

36' LOT

# Seville 4

Elevation 1 • 3,040 sq.ft. | Elevation 2 • 3,036 sq.ft. | Elevation 3 • 3,050 sq.ft.



ELEVATION 1



ELEVATION 2



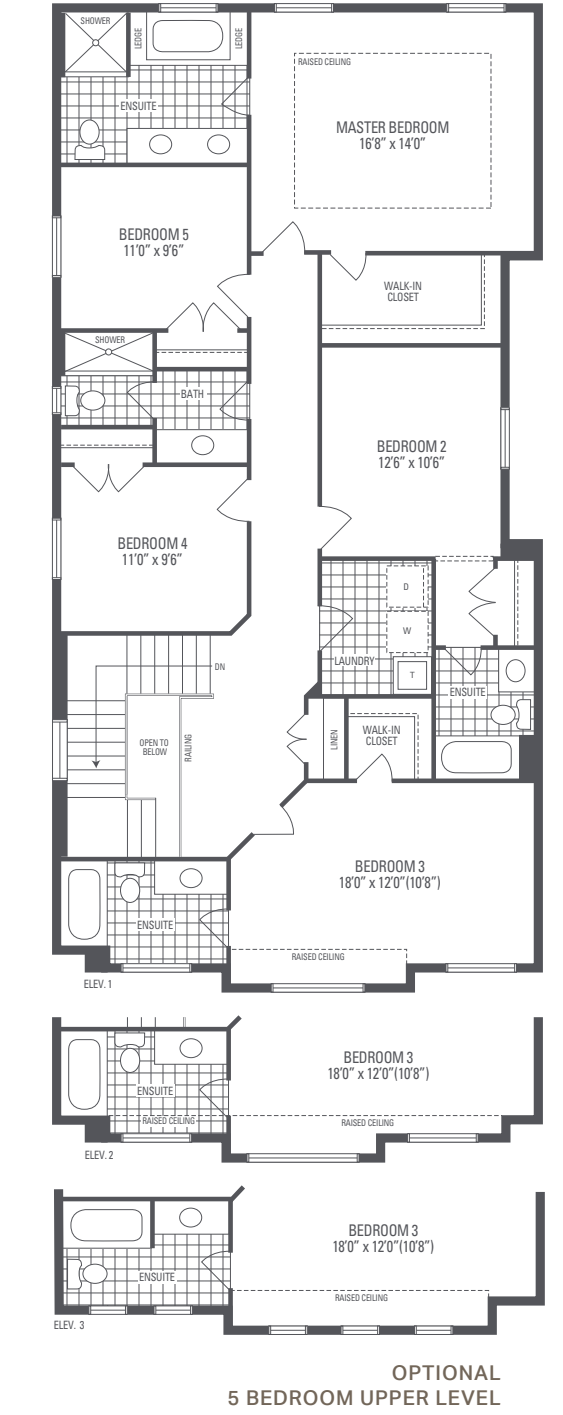
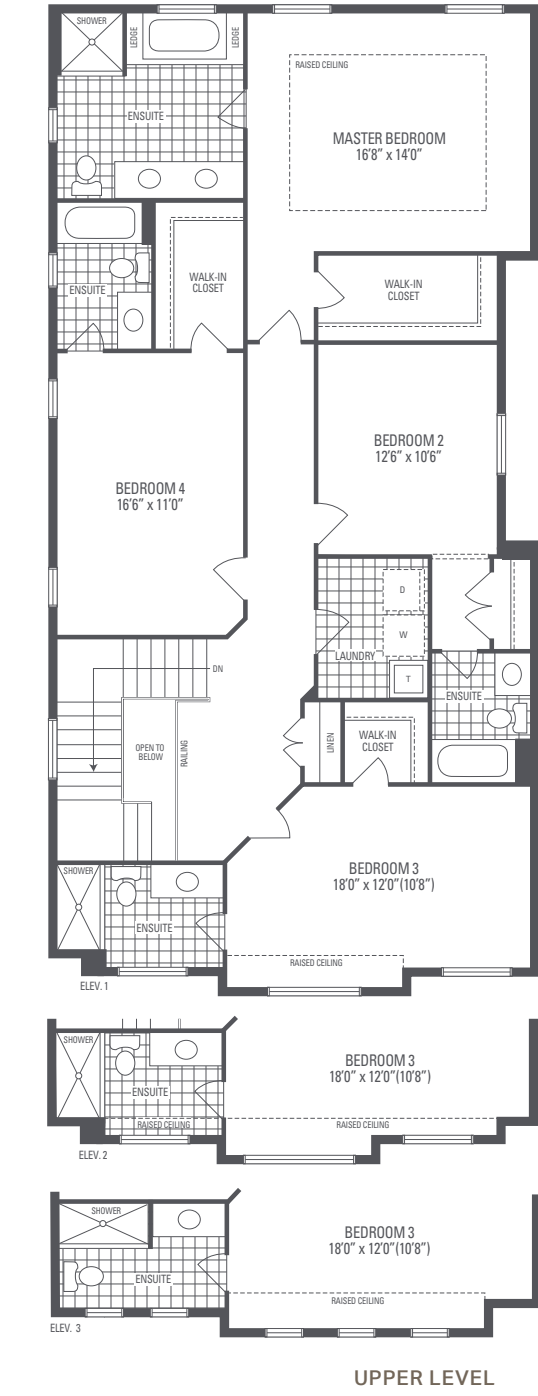
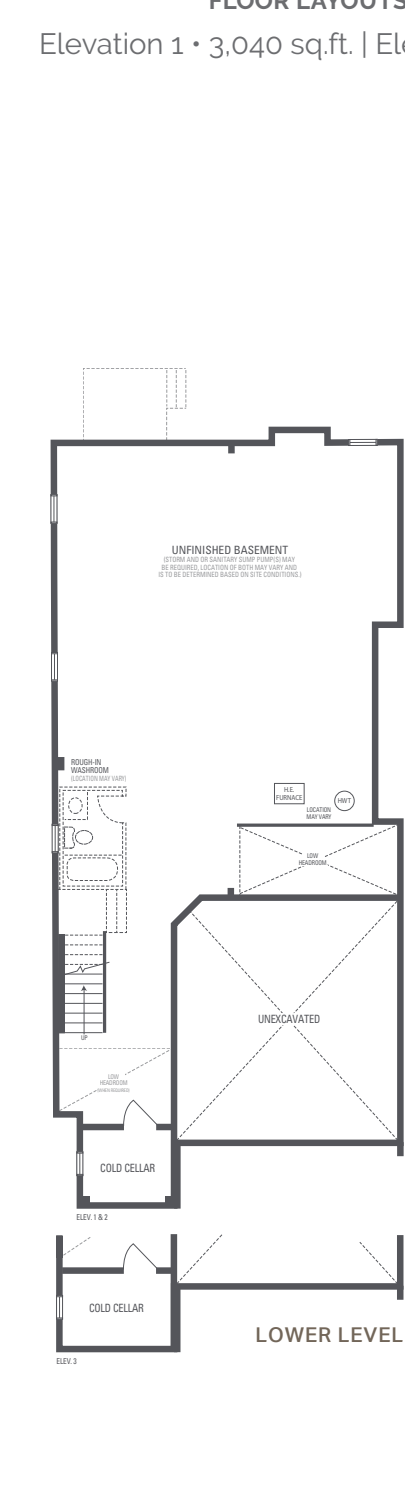
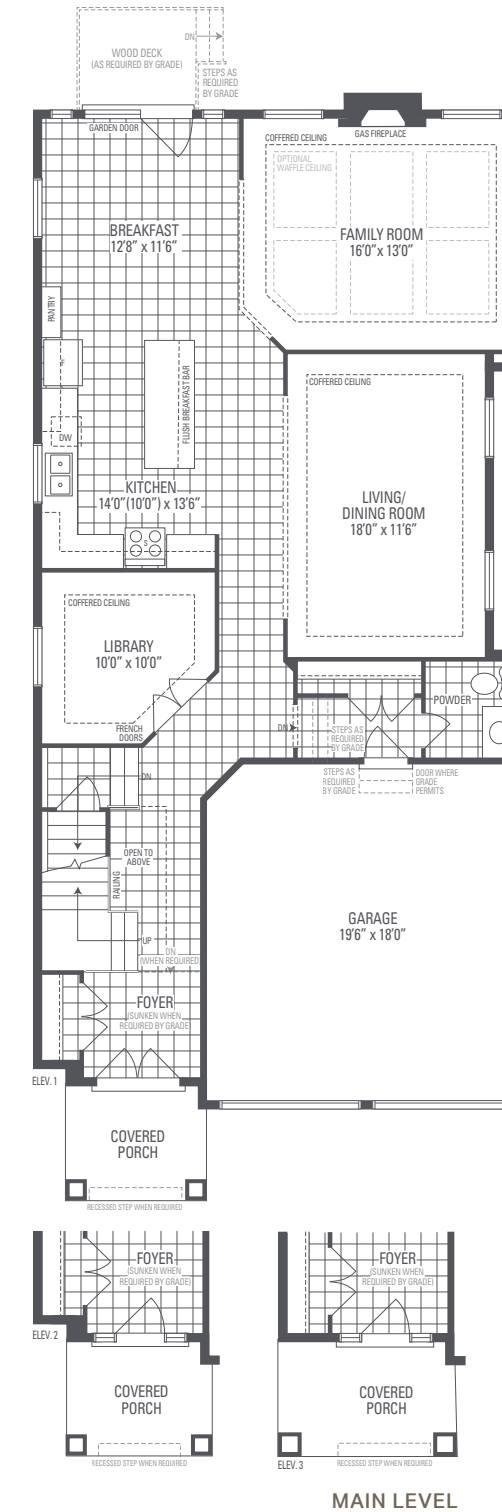
ELEVATION 3

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick + Painted Products, Elev. 2 • Cultured Stone + Brick + Painted Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 36' • November 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. Elevation detail will vary with 10' main level ceiling height. E.&O.E.

# Seville 4

FLOOR LAYOUTS FOR 10' MAIN LEVEL CEILING HEIGHT  
Elevation 1 • 3,040 sq.ft. | Elevation 2 • 3,036 sq.ft. | Elevation 3 • 3,050 sq.ft.



36' LOT

# Seville 5

Elevation 1 • 3,107 sq.ft. | Elevation 2 • 3,137 sq.ft. | Elevation 3 • 3,111 sq.ft.



ELEVATION 3



ELEVATION 1



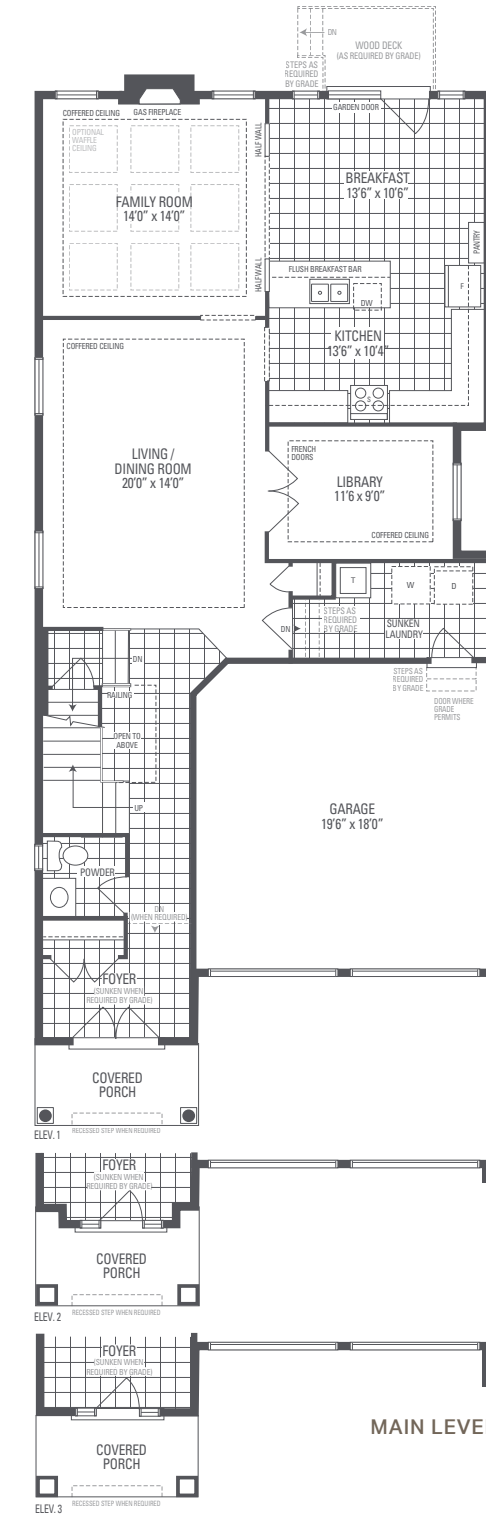
ELEVATION 2

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick + Painted Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 36' • November 2024

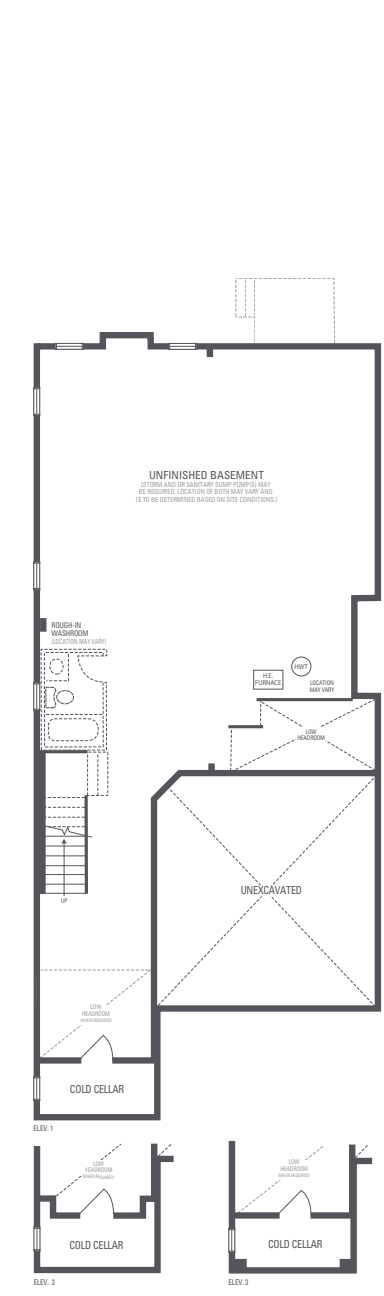
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## Seville 5

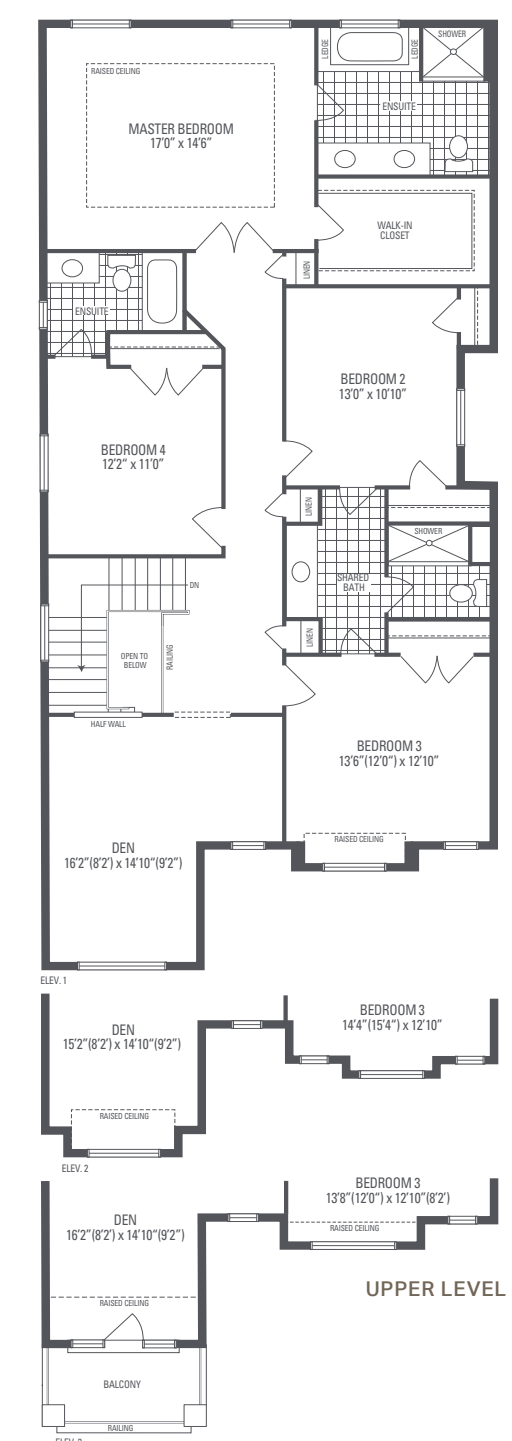
FLOOR LAYOUTS FOR 10' MAIN LEVEL CEILING HEIGHT  
Elevation 1 • 3,107 sq.ft. | Elevation 2 • 3,137 sq.ft. | Elevation 3 • 3,111 sq.ft.



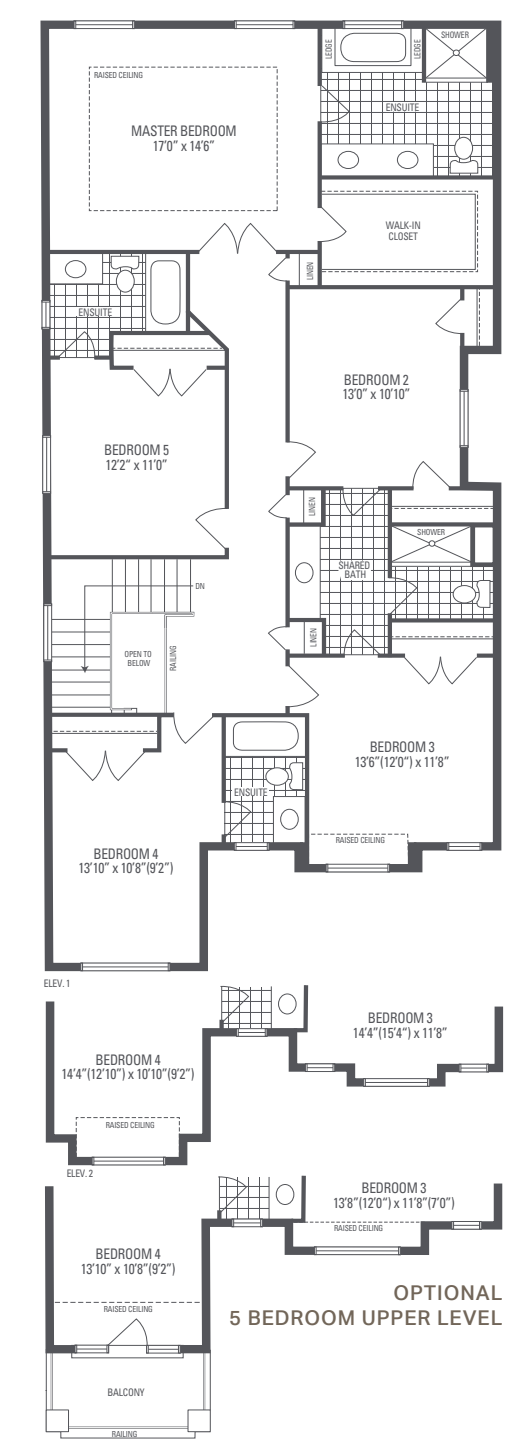
MAIN LEVEL



LOWER LEVEL



UPPER LEVEL



OPTIONAL 5 BEDROOM UPPER LEVEL

36' LOT

# Seville 6

Elevation 1 • 3,240 sq.ft. | Elevation 2 • 3,240 sq.ft. | Elevation 3 • 3,240 sq.ft.



ELEVATION 3



ELEVATION 1



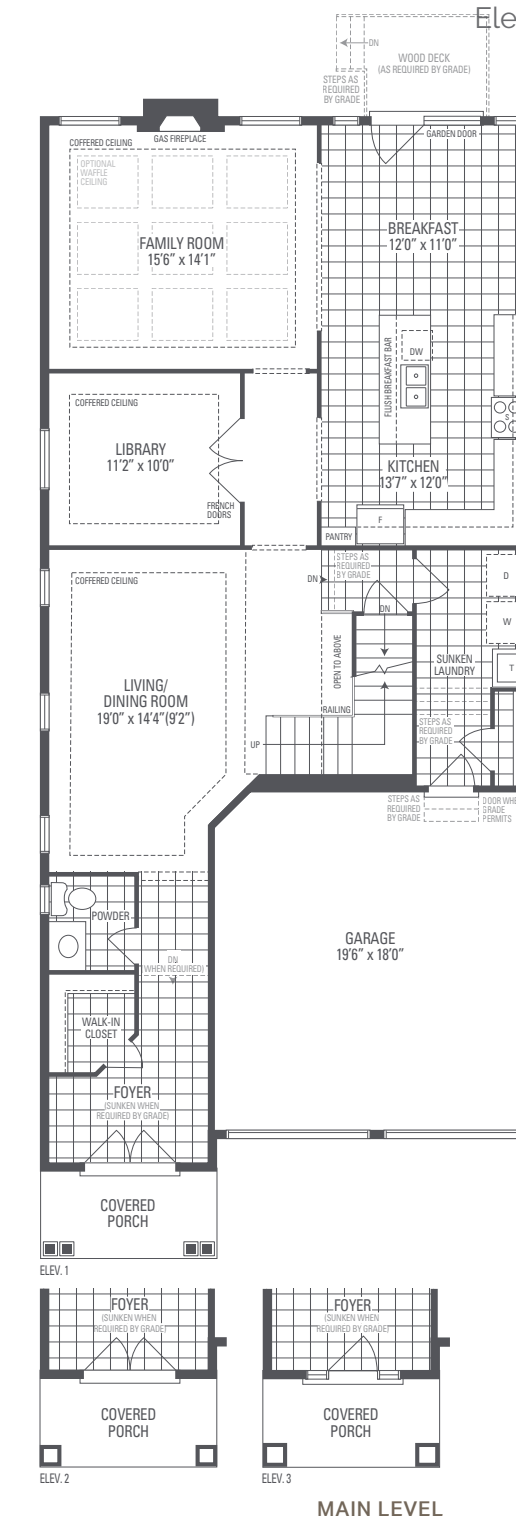
ELEVATION 2

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Dancing Forests • 36' • November 2024

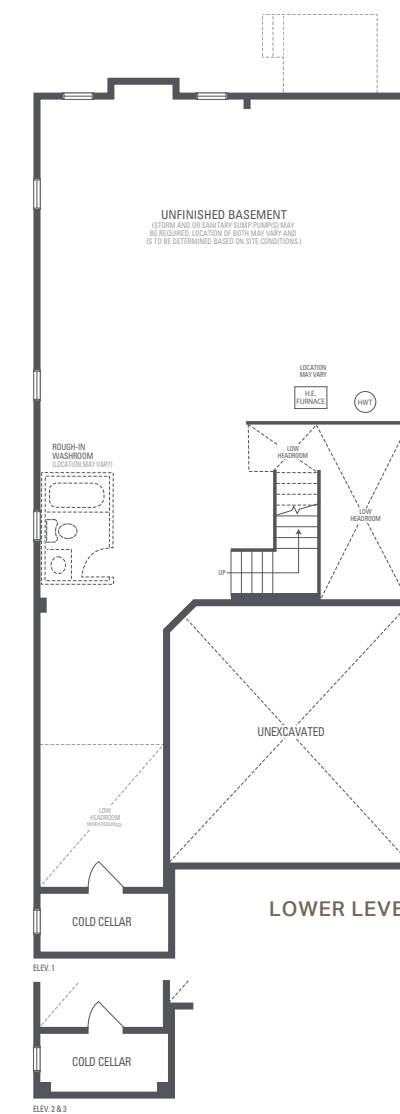
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## Seville 6 FLOOR LAYOUTS FOR 10' MAIN LEVEL CEILING HEIGHT

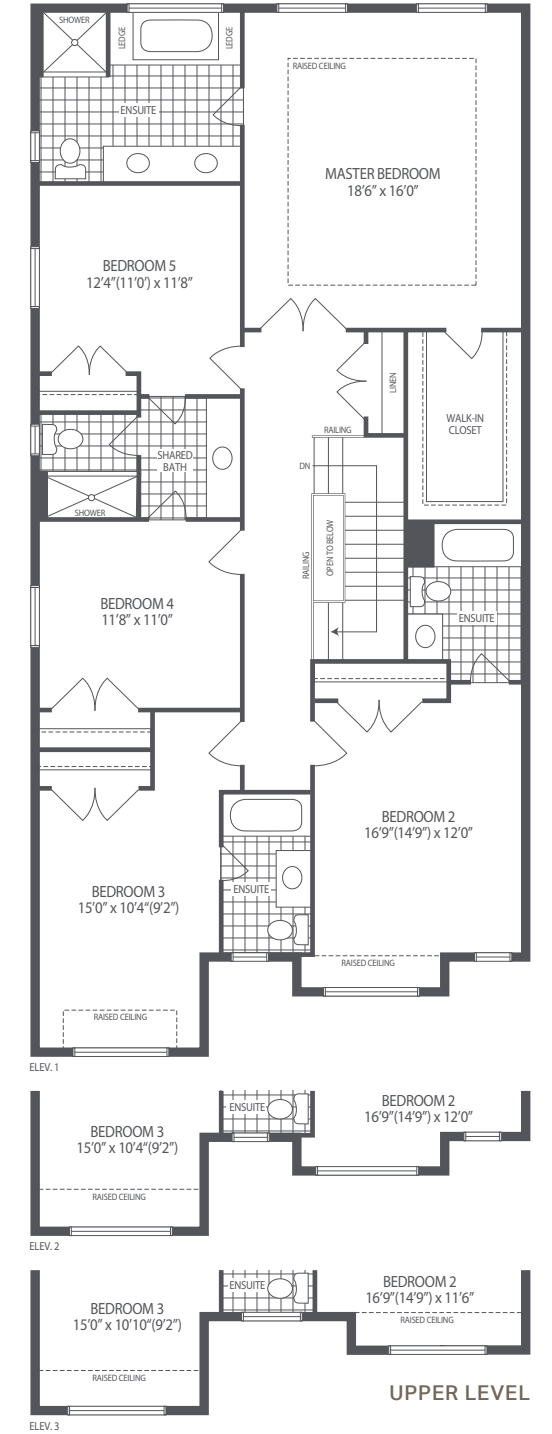
Elevation 1 • 3,240 sq.ft. | Elevation 2 • 3,240 sq.ft. | Elevation 3 • 3,240 sq.ft.



MAIN LEVEL



LOWER LEVEL



UPPER LEVEL

36' LOT

# Seville 12

Elevation 1 • 3,008 sq.ft.



## Seville 12

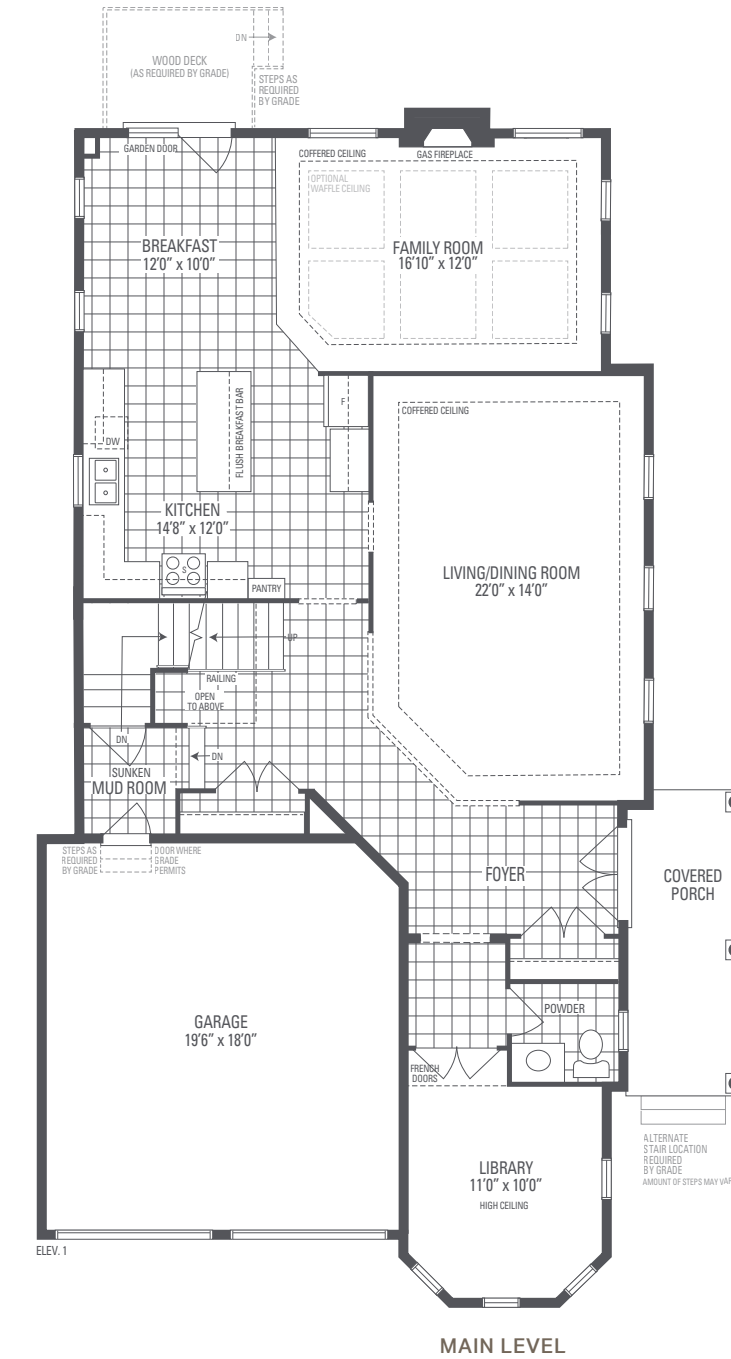
FLOOR LAYOUTS FOR 10' MAIN LEVEL CEILING HEIGHT  
Elevation 1 • 3,008 sq.ft.



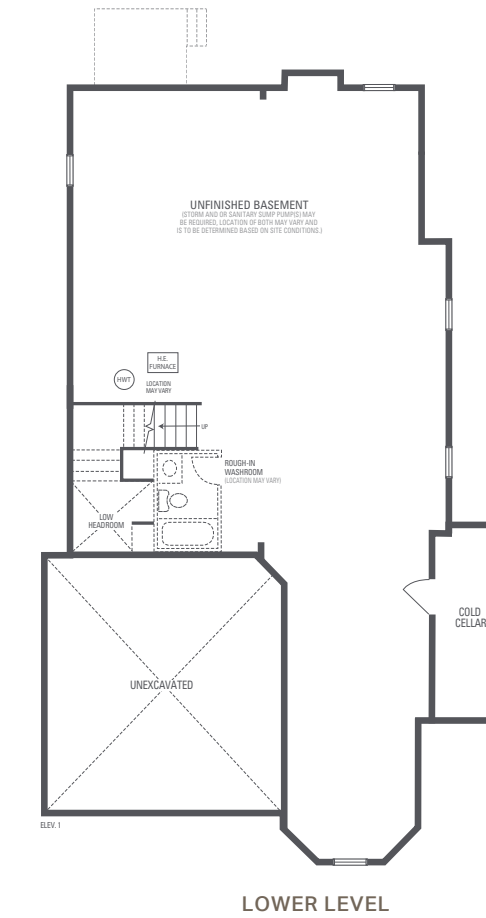
ELEVATION 1

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick + Painted Products  
Dancing Forests • 36' • November 2024

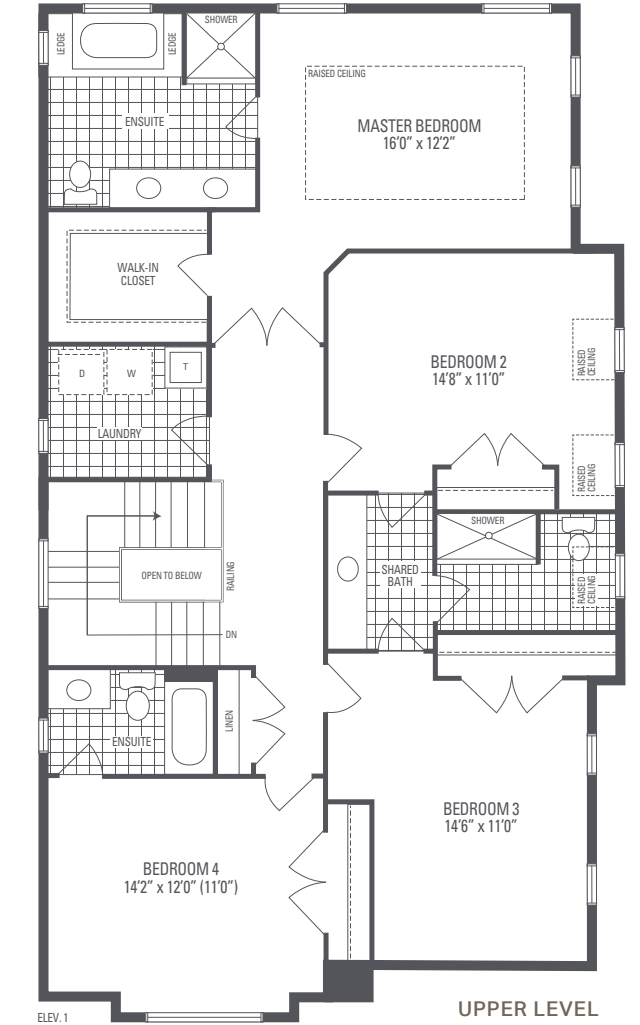
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MAIN LEVEL



LOWER LEVEL



UPPER LEVEL

36' LOT

# Seville 12

Elevation 2 • 2,984 sq.ft



## Seville 12

FLOOR LAYOUTS FOR 10' MAIN LEVEL CEILING HEIGHT  
Elevation 2 • 2,984 sq.ft.



ELEVATION 2

Main exterior building materials for front include: Elev. 2 • Cultured Stone + Brick  
Dancing Forests • 36' • November 2024

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36' LOT

# Seville 12

Elevation 3 • 2,984 sq.ft.



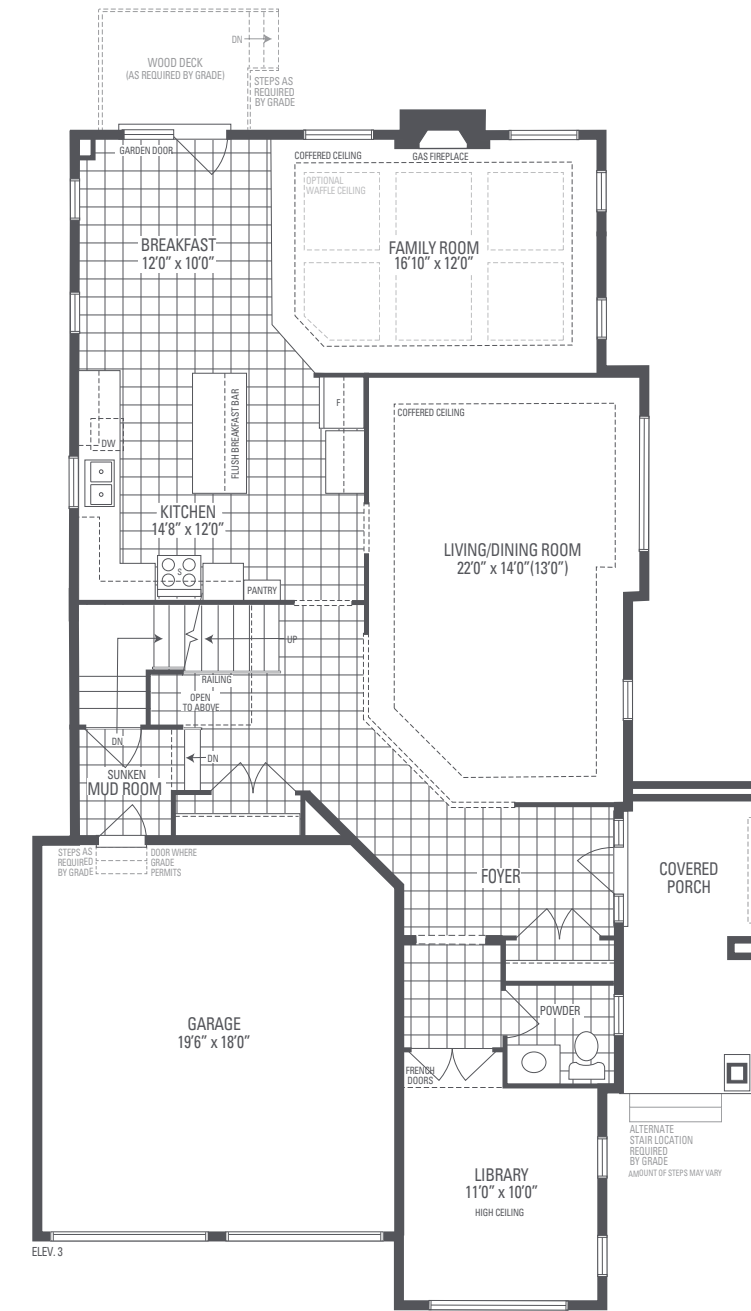
## Seville 12

FLOOR LAYOUTS FOR 10' MAIN LEVEL CEILING HEIGHT  
Elevation 3 • 2,984 sq.ft.

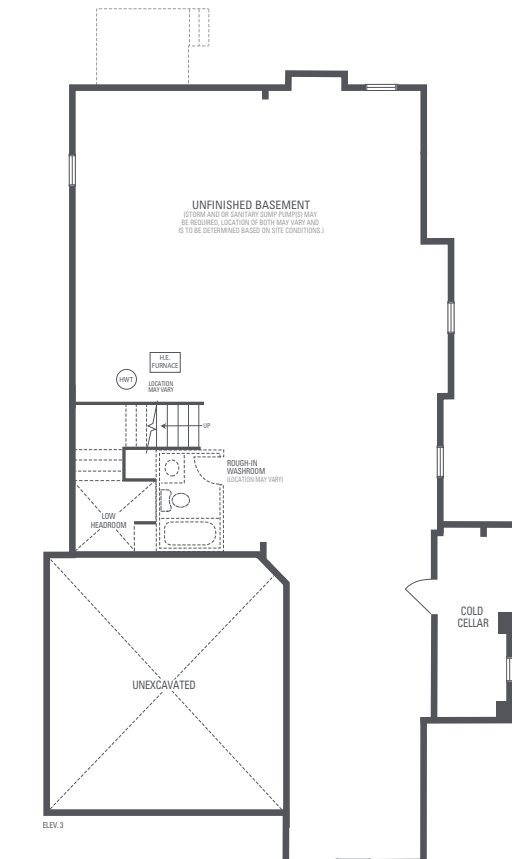


Main exterior building materials for front include: Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 36' • November 2024

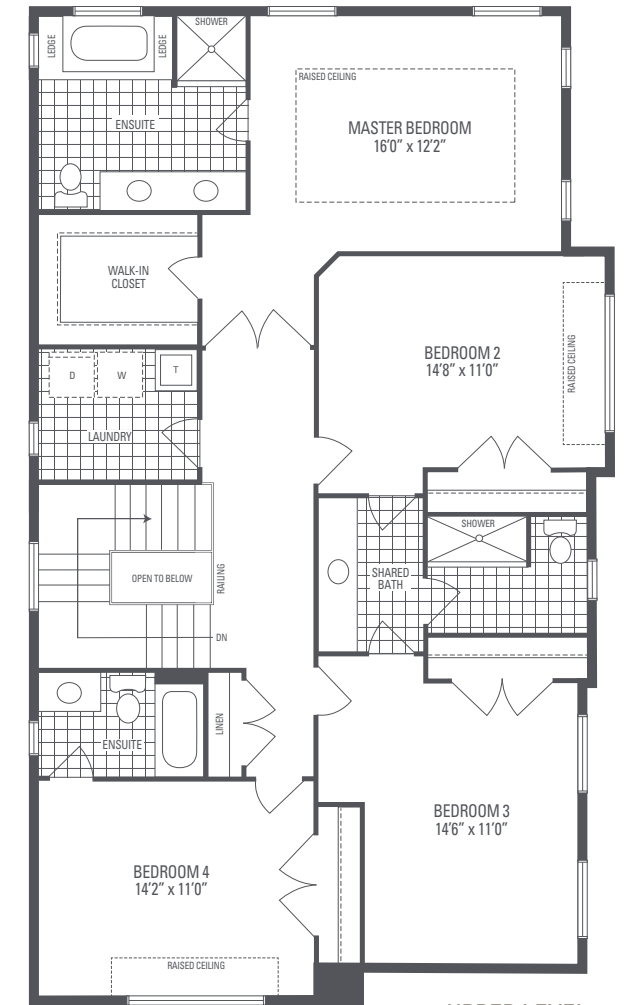
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MAIN LEVEL



LOWER LEVEL



UPPER LEVEL

40' LOT

# Monaco 1

Elevation 1 • 2,509 sq.ft. | Elevation 3 • 2,507 sq.ft.



ELEVATION 3



ELEVATION 1

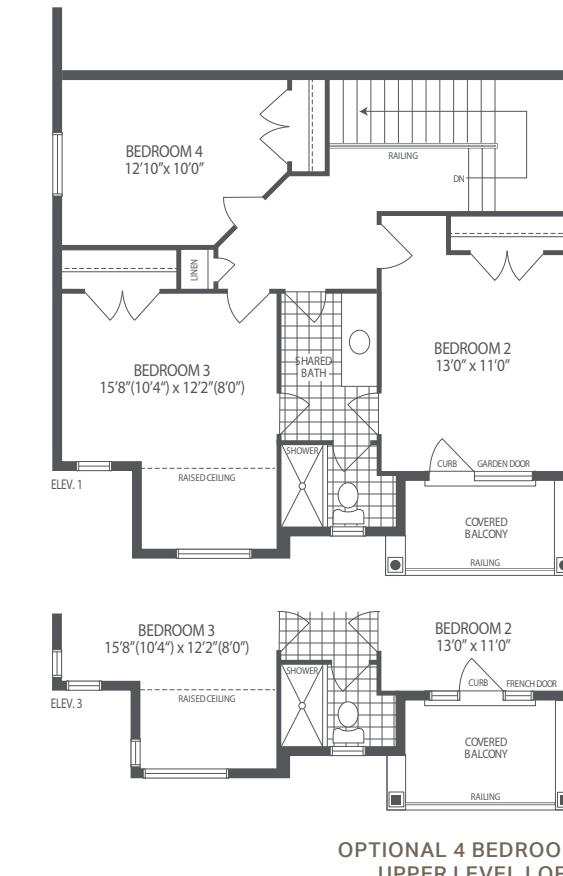
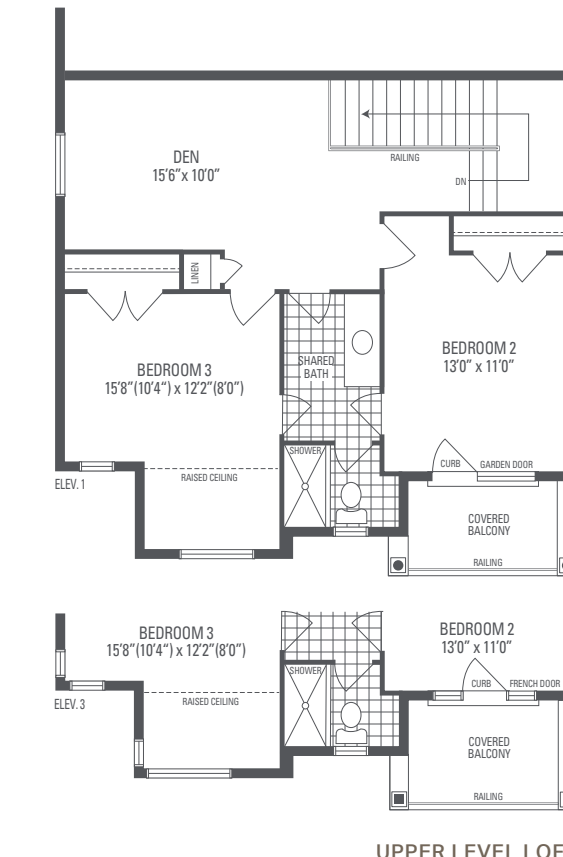
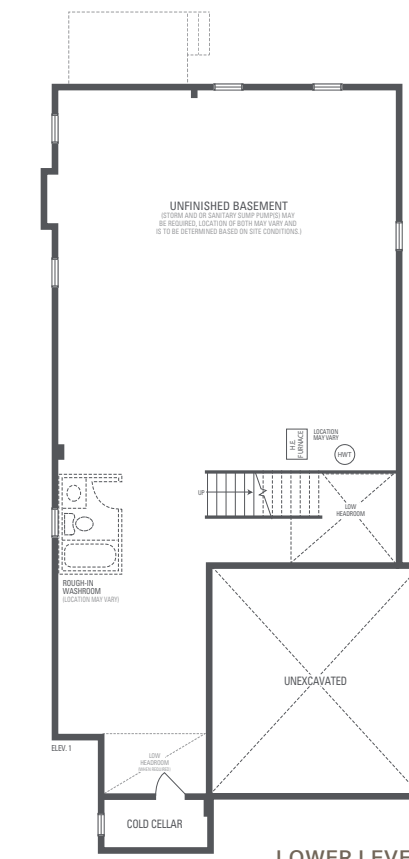
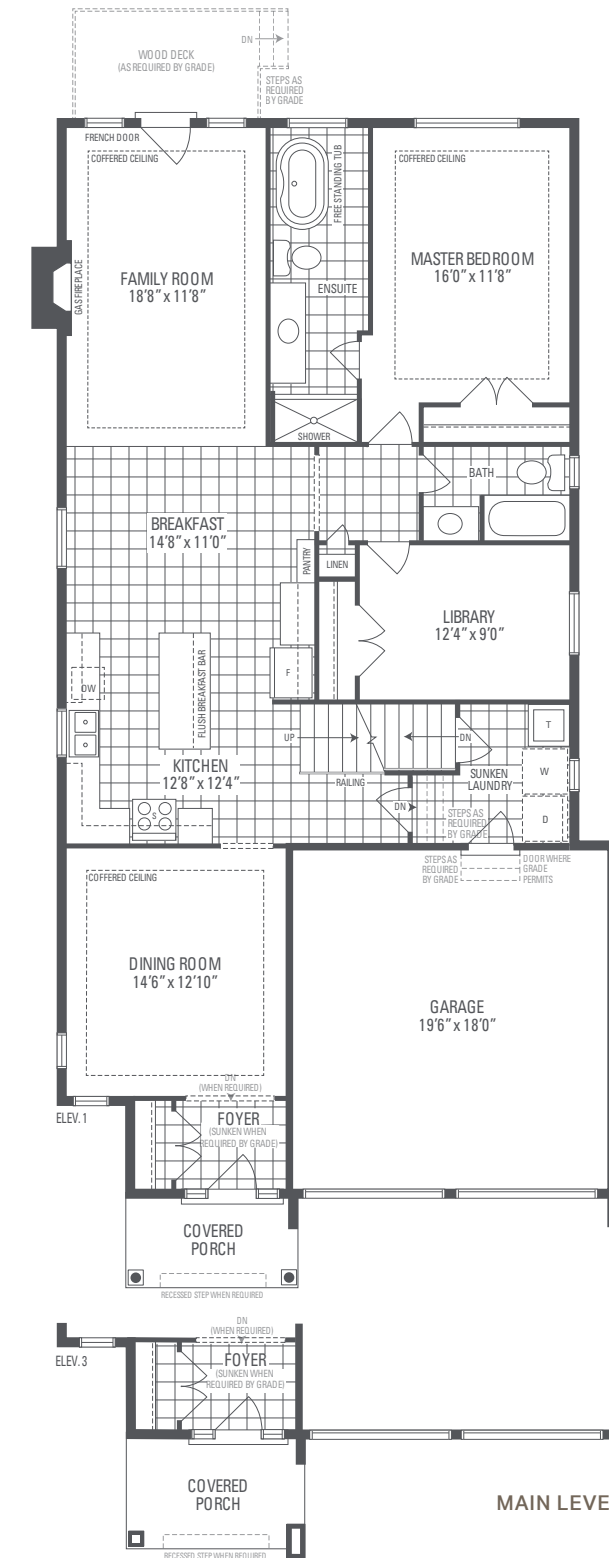


Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick + Painted Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding + Painted Products  
Dancing Forests • 40' • November 2024

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# Monaco 1

Elevation 1 • 2,509 sq.ft. | Elevation 3 • 2,507 sq.ft.



40' LOT

# Monaco 2

Elevation 1 • 2,893 sq.ft. | Elevation 2 • 2,914 sq.ft. | Elevation 3 • 2,923 sq.ft.



ELEVATION 2



ELEVATION 1



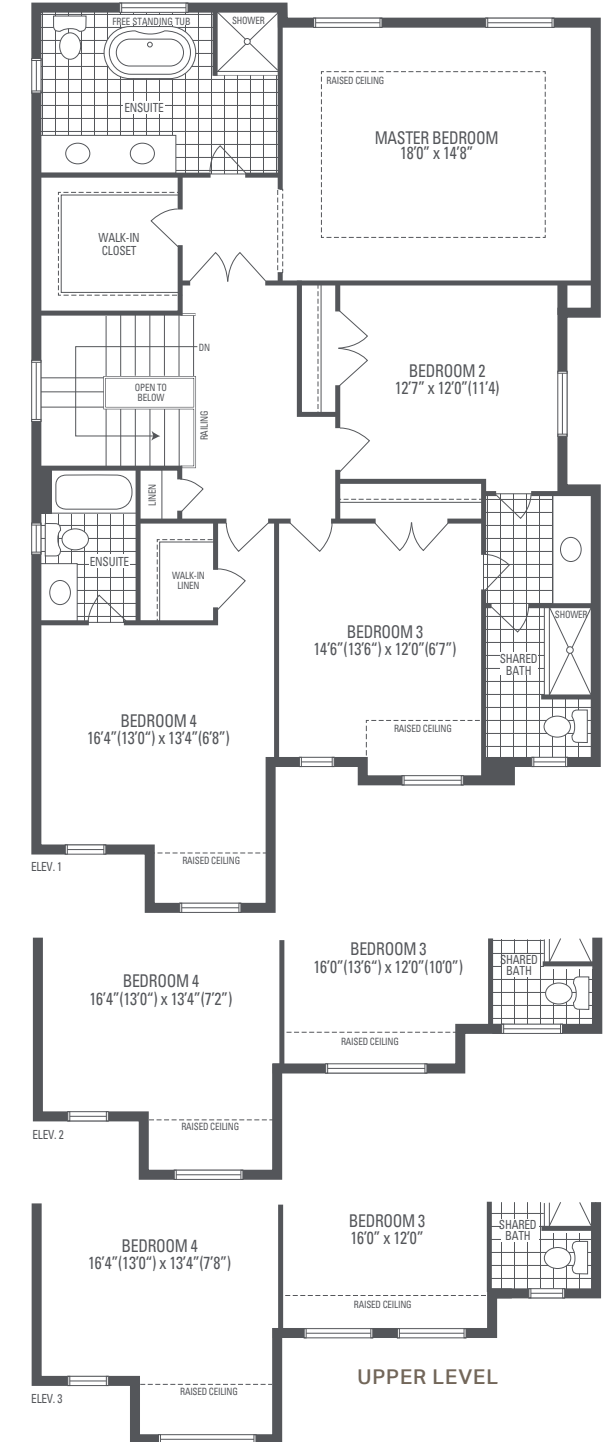
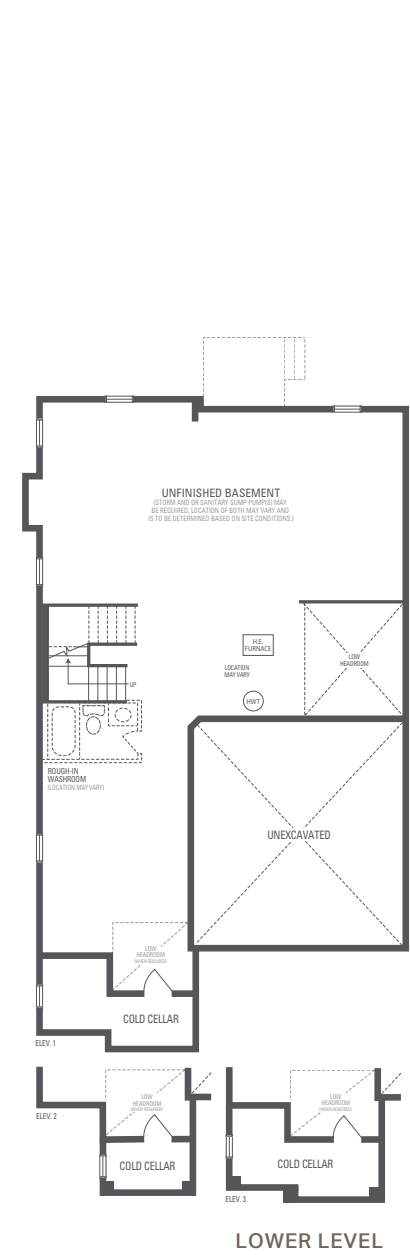
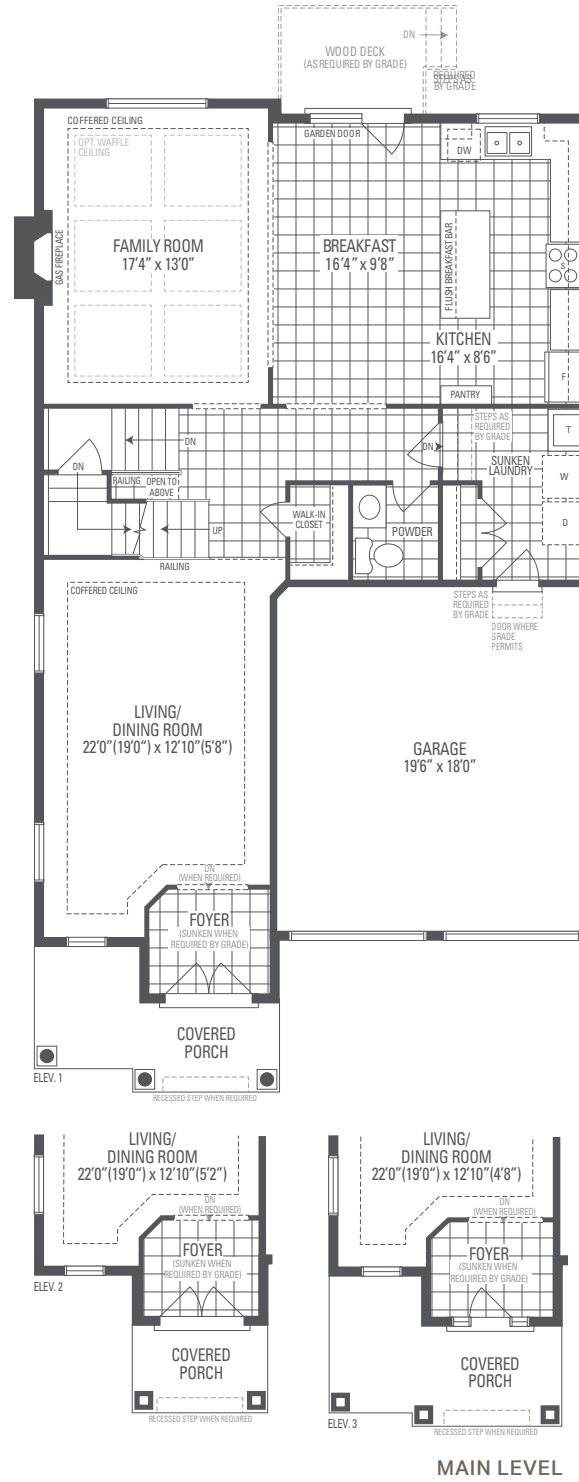
ELEVATION 3

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick + Painted Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 40' • November 2024

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# Monaco 2

Elevation 1 • 2,893 sq.ft. | Elevation 2 • 2,914 sq.ft. | Elevation 3 • 2,923 sq.ft.



40' LOT

# Monaco 3

Elevation 1 • 3,157 sq.ft. | Elevation 2 • 3,164 sq.ft. | Elevation 3 • 3,211 sq.ft.



Elevation 1 • 3,157 sq.ft. | Elevation 2 • 3,164 sq.ft. | Elevation 3 • 3,211 sq.ft.



ELEVATION 1



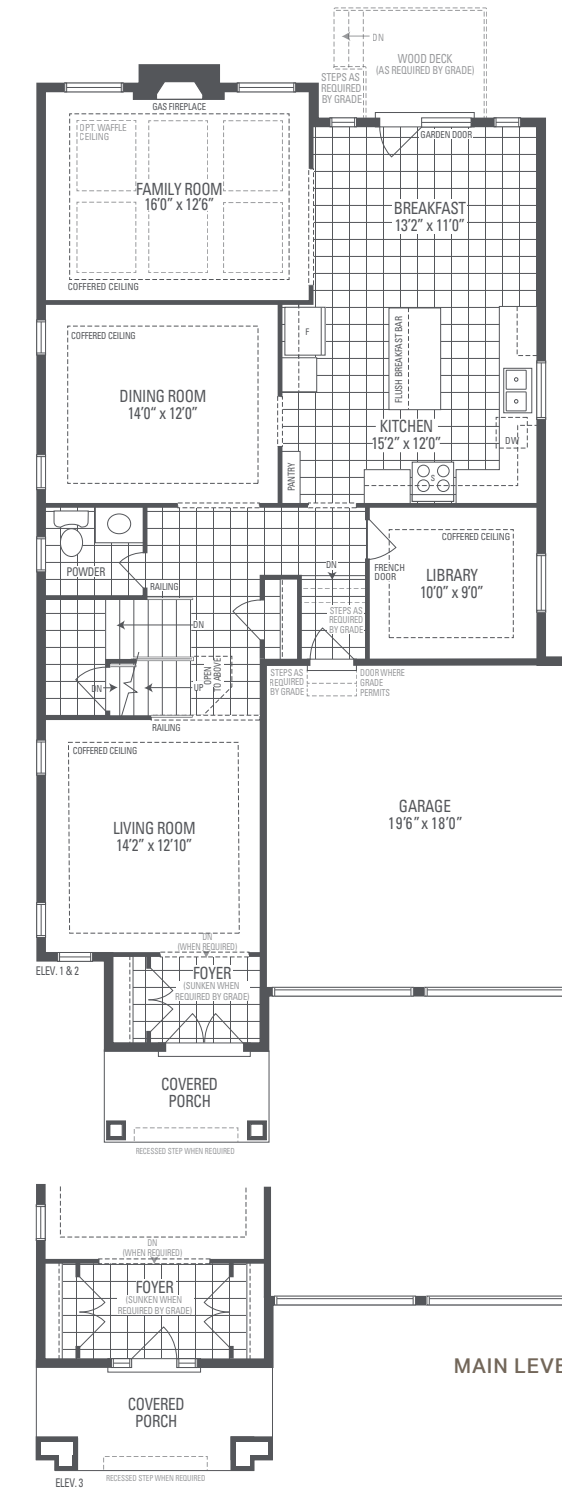
ELEVATION 2



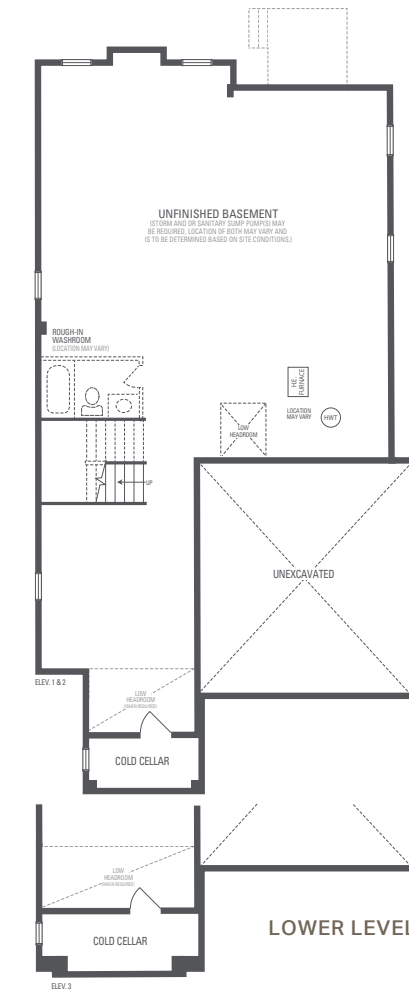
ELEVATION 3

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick + Painted Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 40' • November 2024

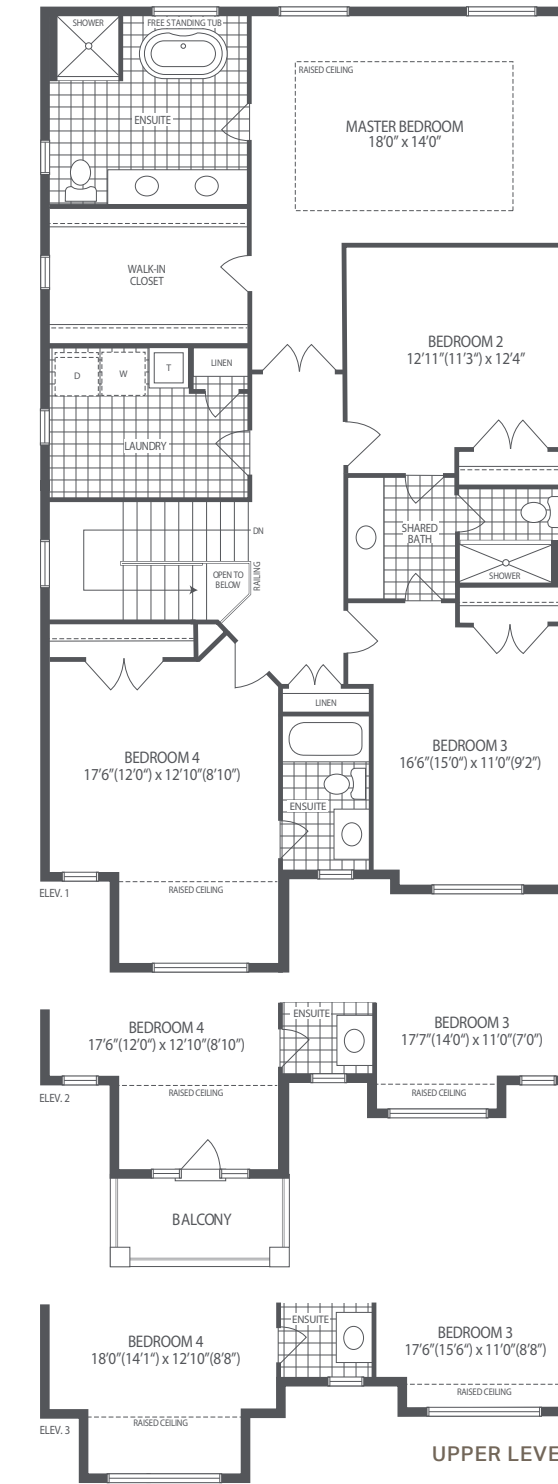
NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.



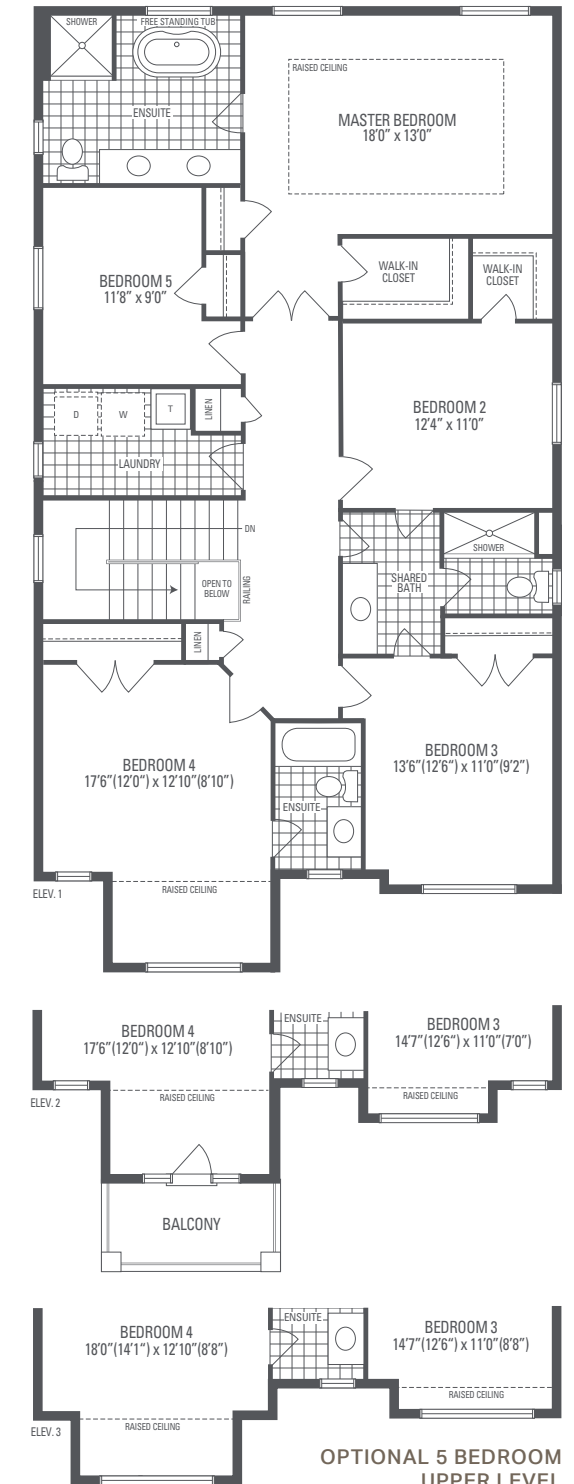
MAIN LEVEL



LOWER LEVEL



UPPER LEVEL



OPTIONAL 5 BEDROOM UPPER LEVEL

40' LOT

# Monaco 4

Elevation 1 • 3,252 sq.ft. | Elevation 2 • 3,272 sq.ft. | Elevation 3 • 3,305 sq.ft.



ELEVATION 3



ELEVATION 1



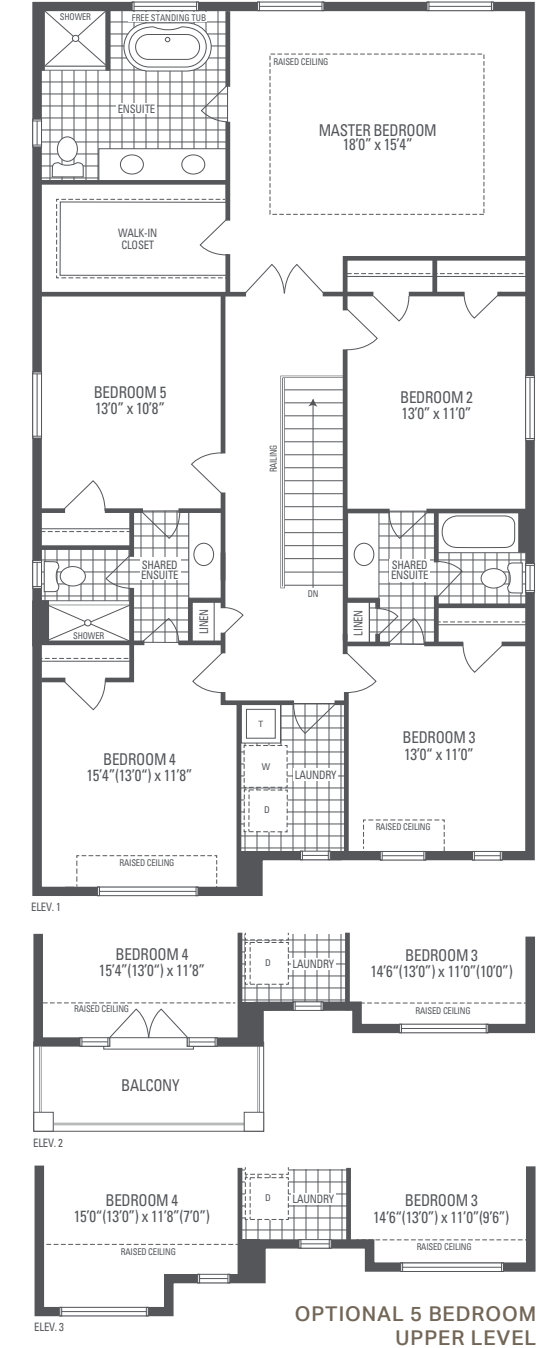
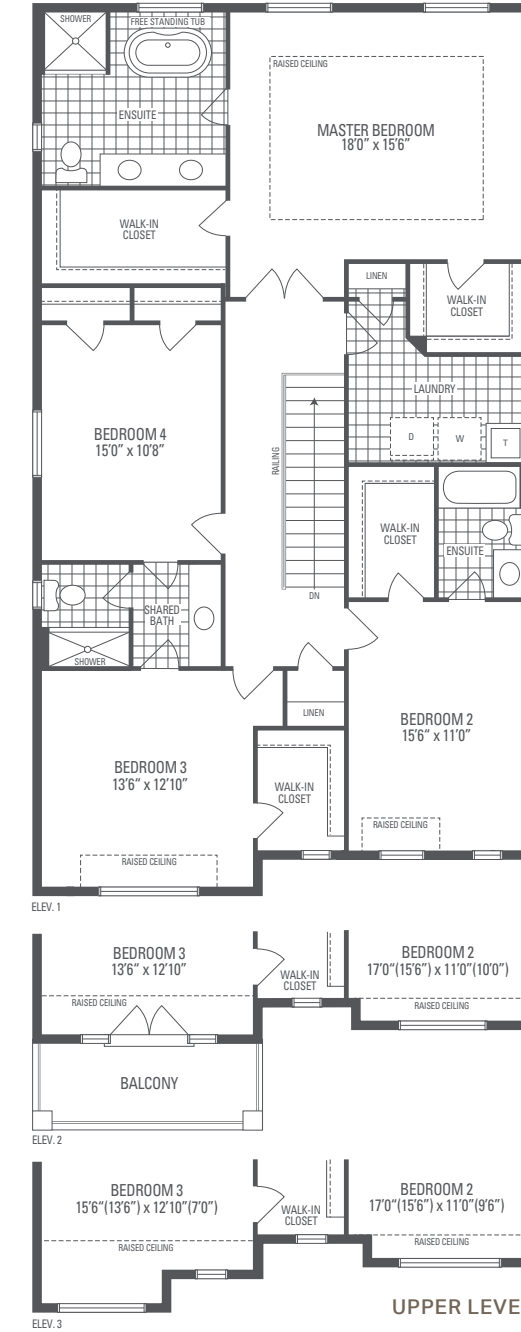
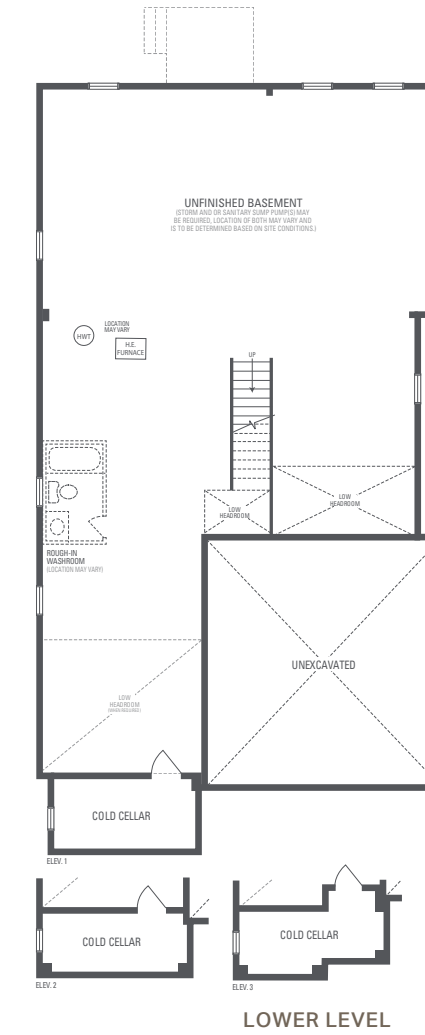
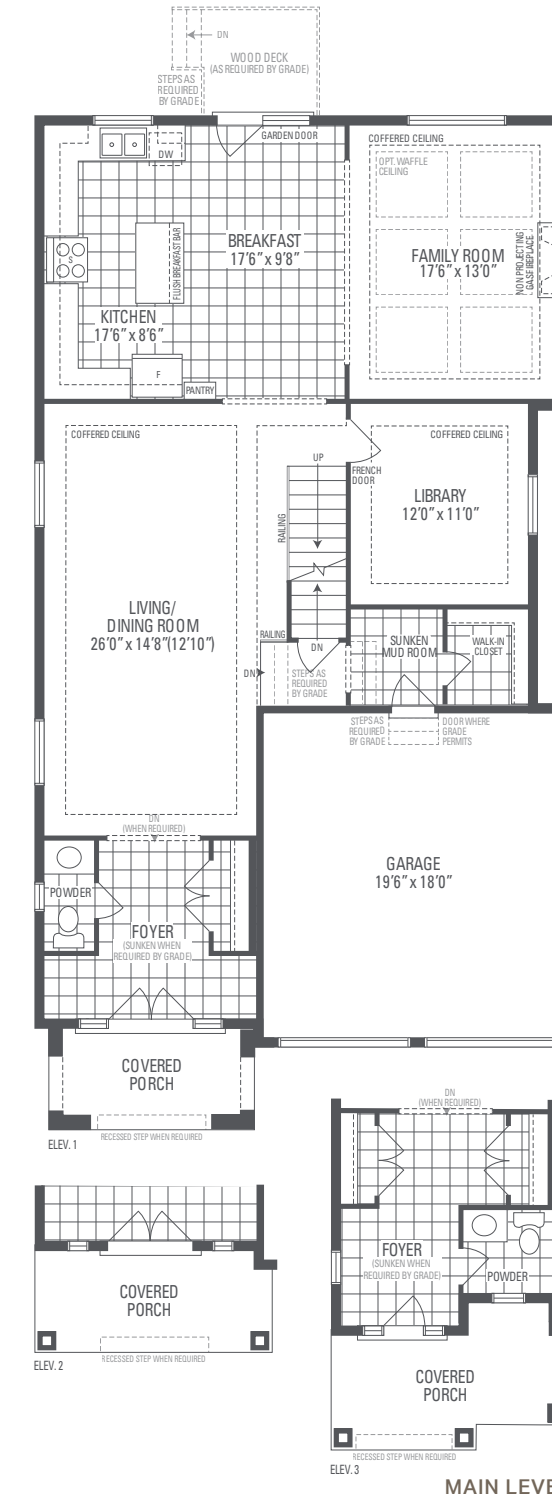
ELEVATION 2

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick + Painted Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 40' • November 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

# Monaco 4

Elevation 1 • 3,252 sq.ft. | Elevation 2 • 3,272 sq.ft. | Elevation 3 • 3,305 sq.ft.



40' LOT

# Monaco 12

Elevation 2 • 3,298 sq.ft. | FOR LOT 73

# Monaco 12

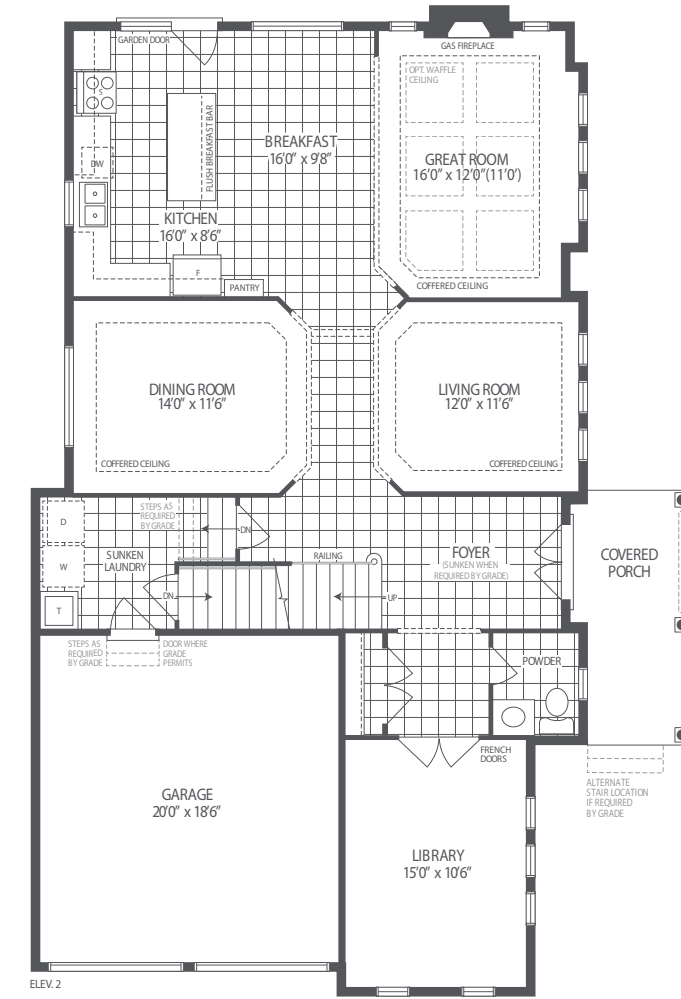
Elevation 2 • 3,298 sq.ft. | FOR LOT 73



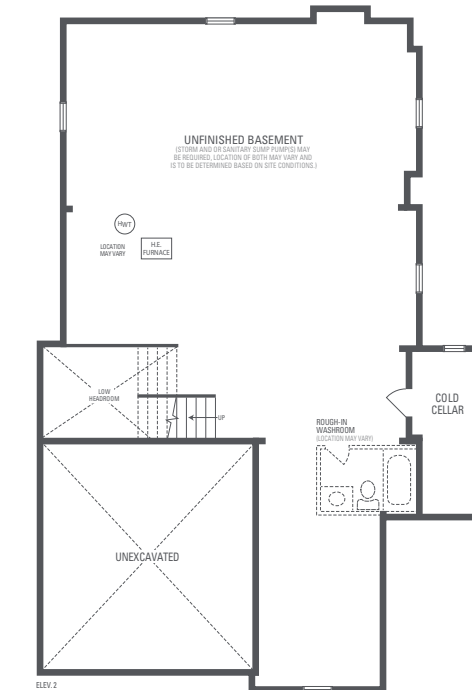
ELEVATION 2

Main exterior building materials for front include: Elev. 2 • Cultured Stone + Brick  
Dancing Forests • 40' • November 2024

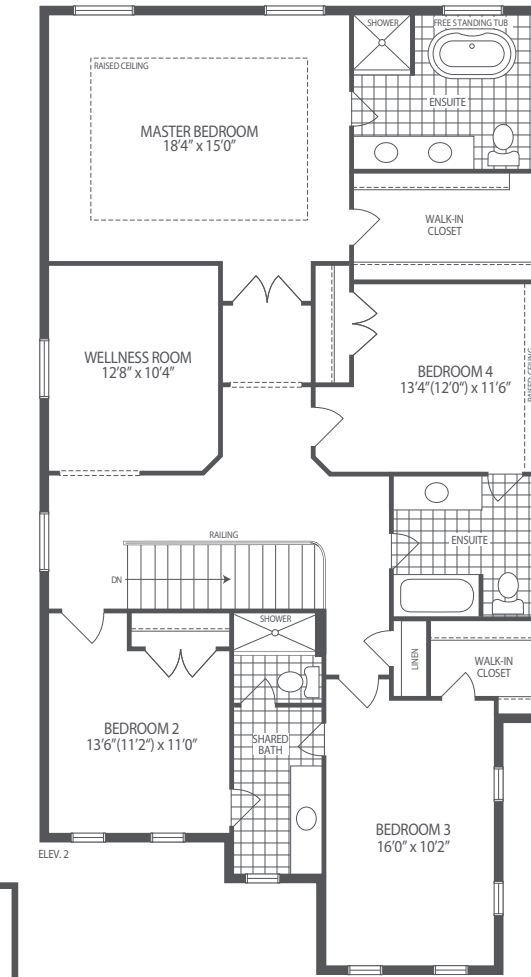
NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.



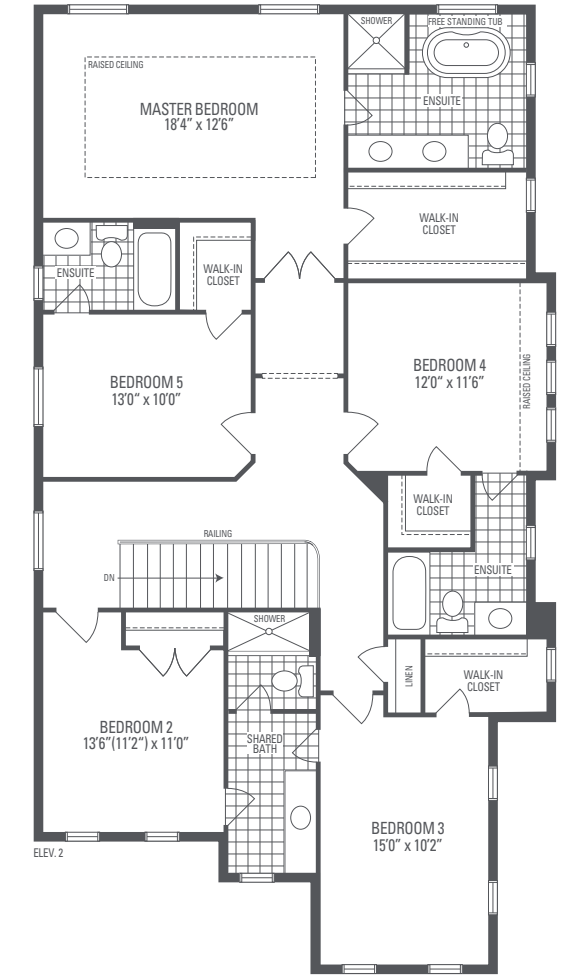
MAIN LEVEL



LOWER LEVEL



UPPER LEVEL



OPTIONAL 5 BEDROOM  
UPPER LEVEL

45' LOT

# Riviera 3

Elevation 1 • 3,715 sq.ft. | Elevation 2 • 3,660 sq.ft. | Elevation 3 • 3,660 sq.ft.



ELEVATION 1



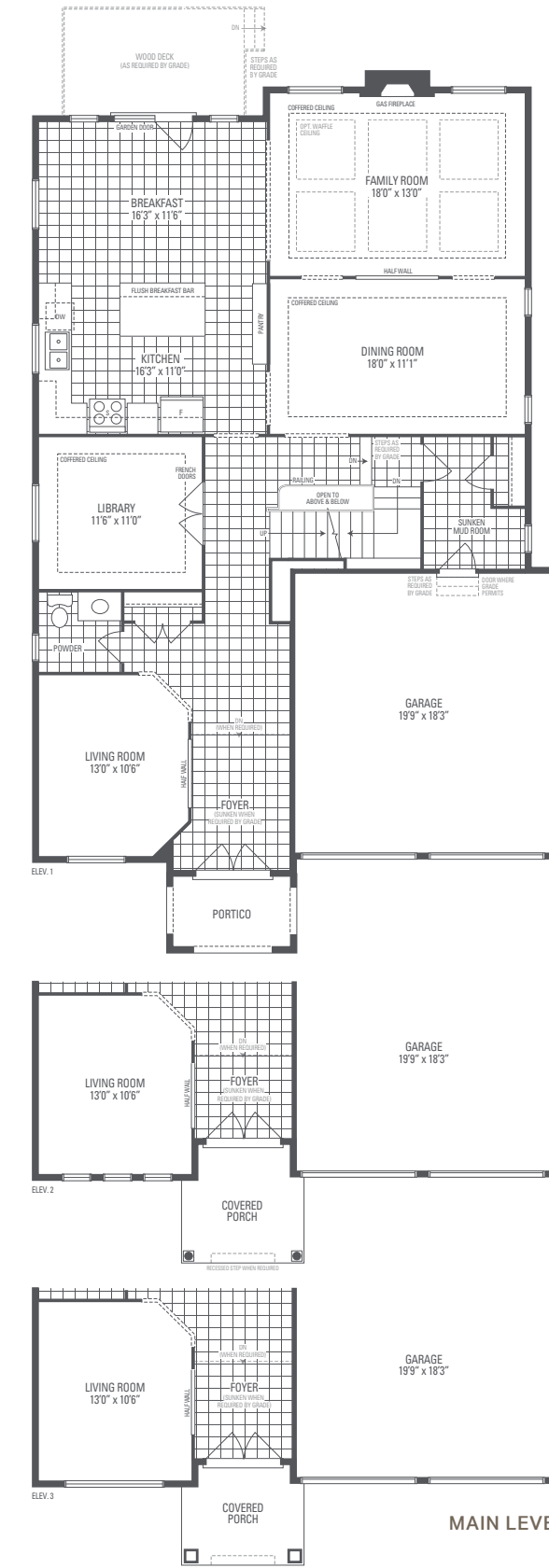
ELEVATION 2



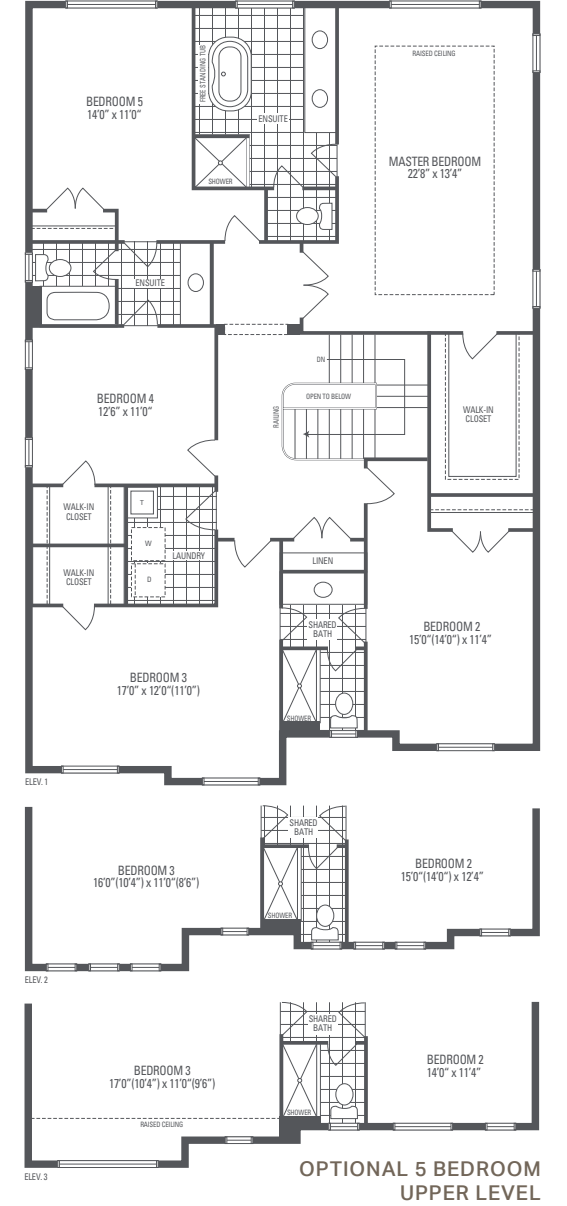
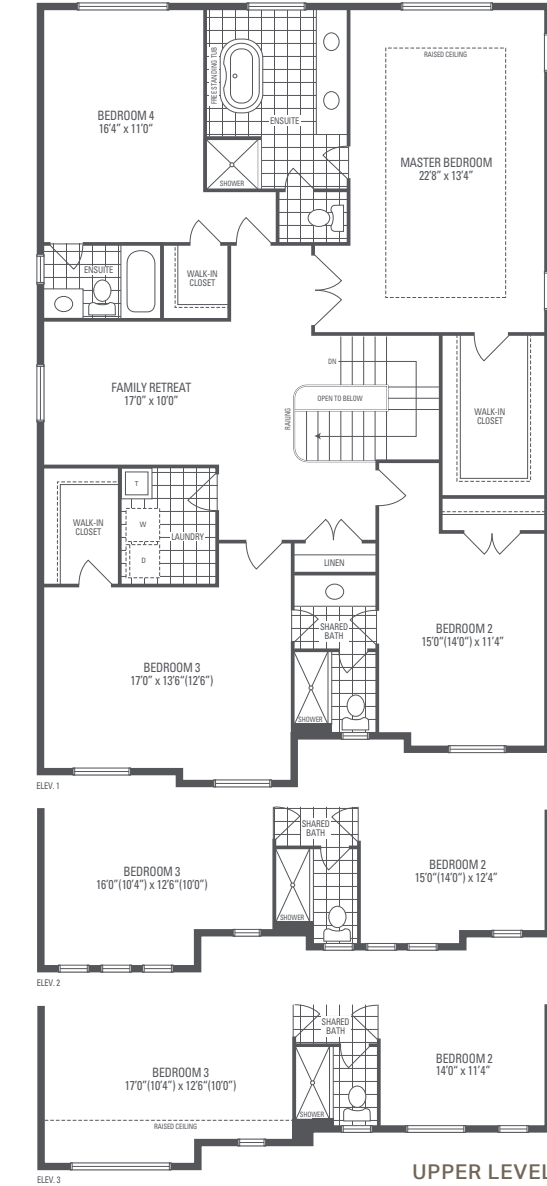
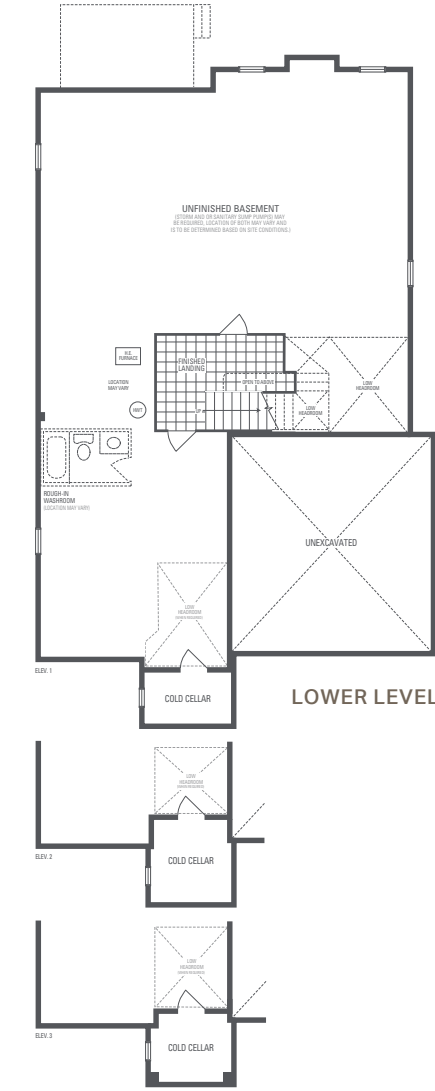
ELEVATION 3

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick + Painted Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 45' • November 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.



Elevation 1 • 3,715 sq.ft. | Elevation 2 • 3,660 sq.ft. | Elevation 3 • 3,660 sq.ft.  
(Add 100 sq.ft. of Finished Basement Landing)



45' LOT

# Riviera 4

Elevation 1 • 3,915 sq.ft. | Elevation 2 • 3,885 sq.ft. | Elevation 3 • 3,915 sq.ft.



ELEVATION 3



ELEVATION 1



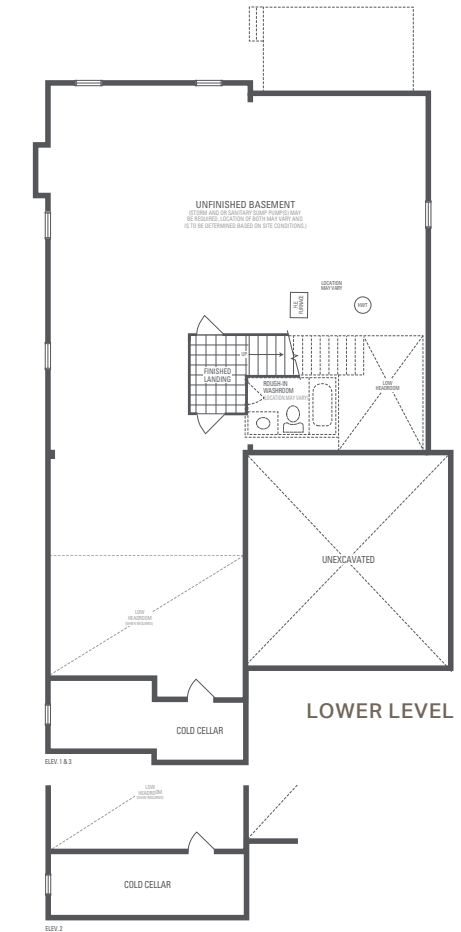
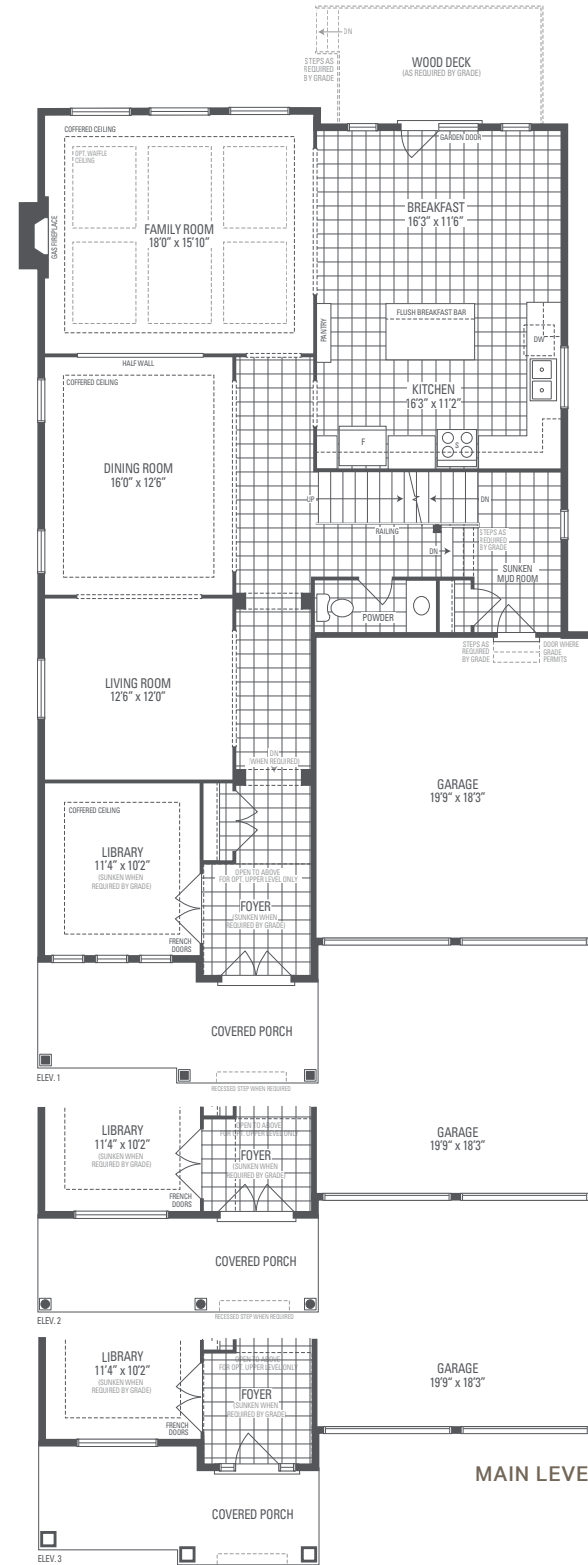
ELEVATION 2

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick + Painted Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 45' • November 2024

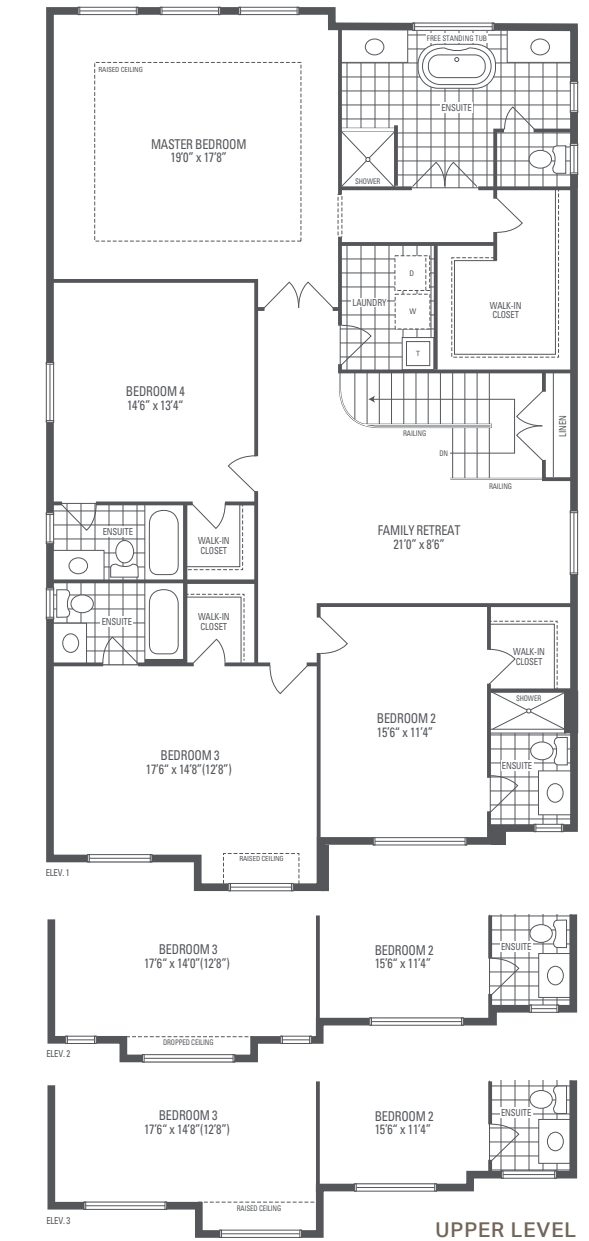
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# Riviera 4

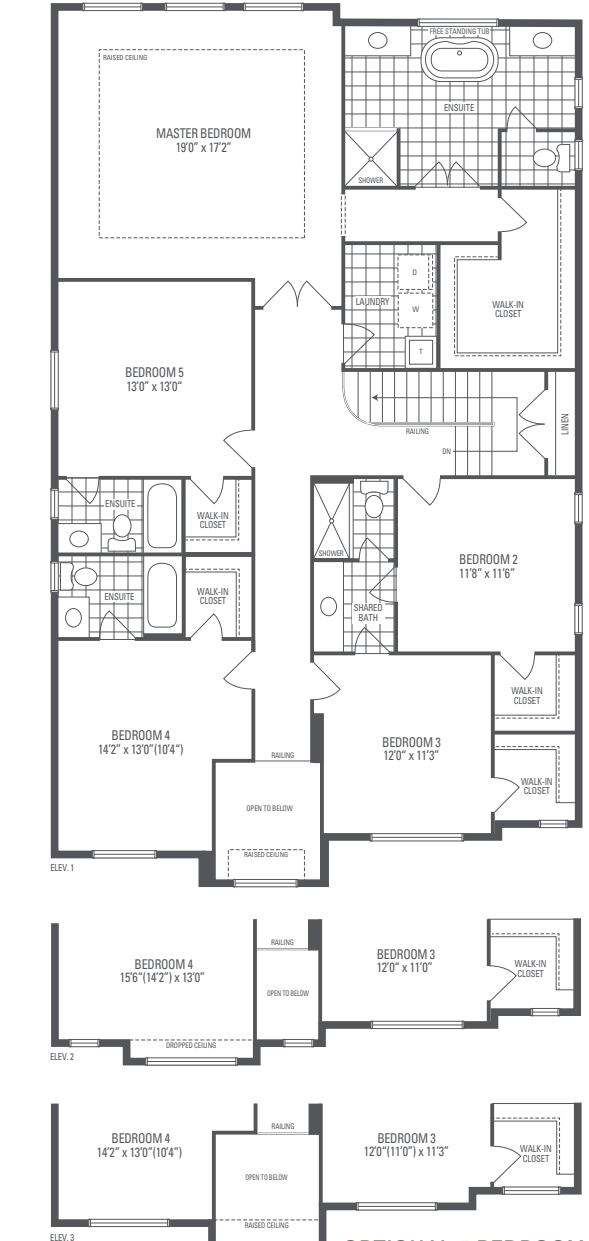
Elevation 1 • 3,915 sq.ft. | Elevation 2 • 3,885 sq.ft. | Elevation 3 • 3,915 sq.ft.  
(Add 42 sq.ft. of Finished Basement Landing)



MAIN LEVEL



UPPER LEVEL



OPTIONAL 5 BEDROOM UPPER LEVEL

45' LOT

# Riviera 5

Elevation 1 • 3,070 sq.ft. | Elevation 2 • 3,078 sq.ft. | Elevation 3 • 3,070 sq.ft.



ELEVATION 3



ELEVATION 1



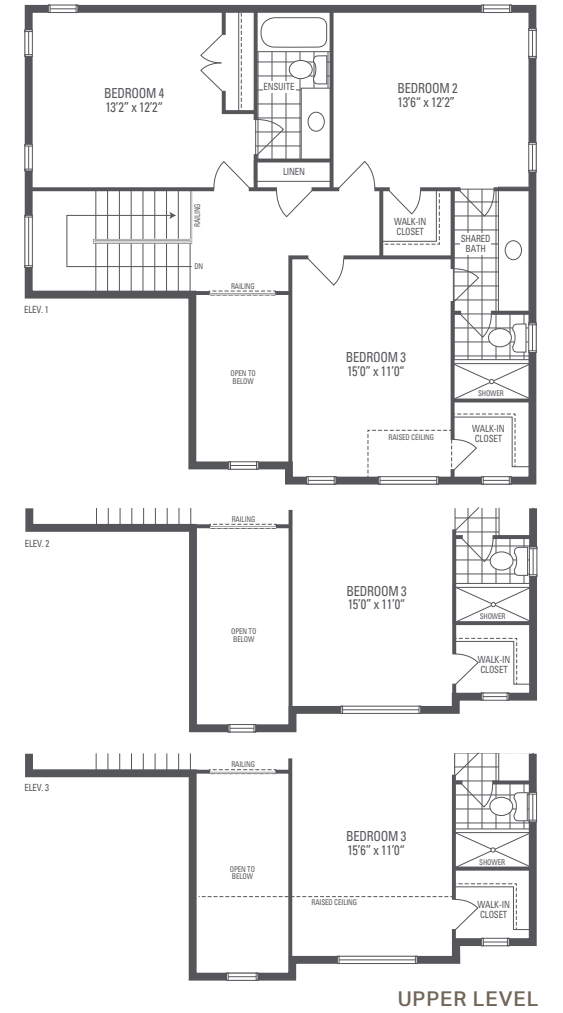
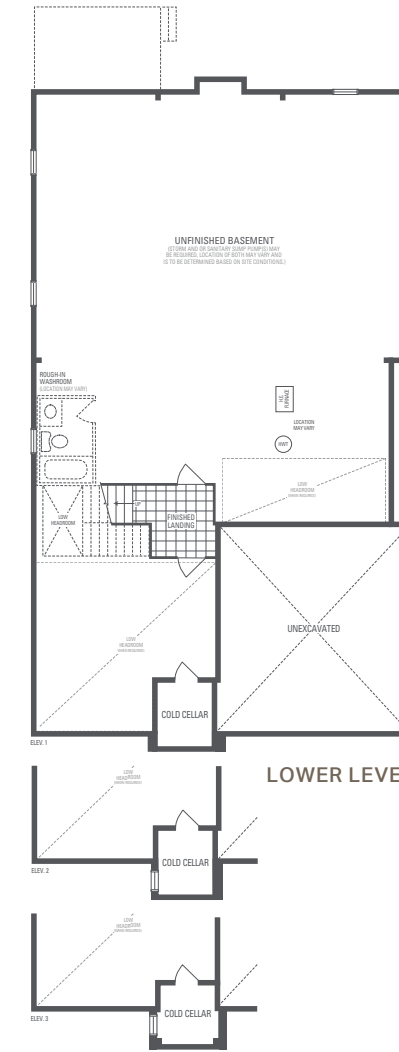
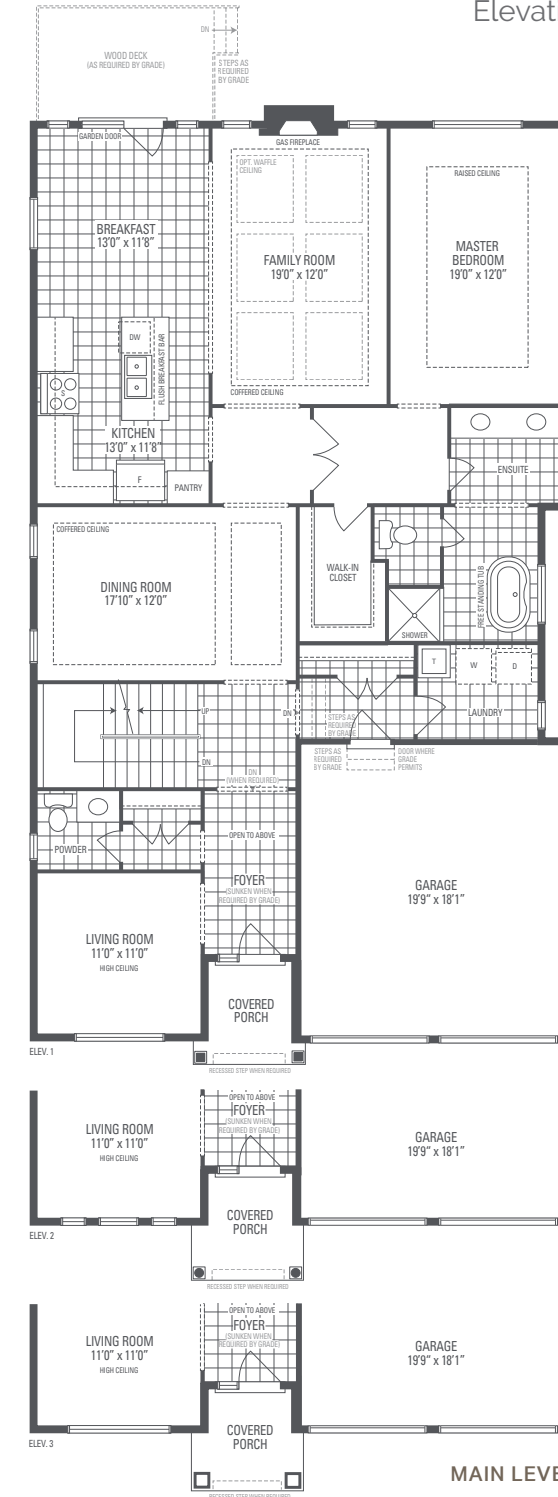
ELEVATION 2

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick, Elev. 2 • Cultured Stone + Brick, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 45' • November 2024

NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

# Riviera 5

Elevation 1 • 3,070 sq.ft. | Elevation 2 • 3,078 sq.ft. | Elevation 3 • 3,070 sq.ft.  
(Add 56 sq.ft. of Finished Basement Landing)



45' LOT

# Riviera 6

Elevation 1 • 3,987 sq.ft. | Elevation 2 • 4,007 sq.ft. | Elevation 3 • 3,987 sq.ft.



ELEVATION 2



ELEVATION 1



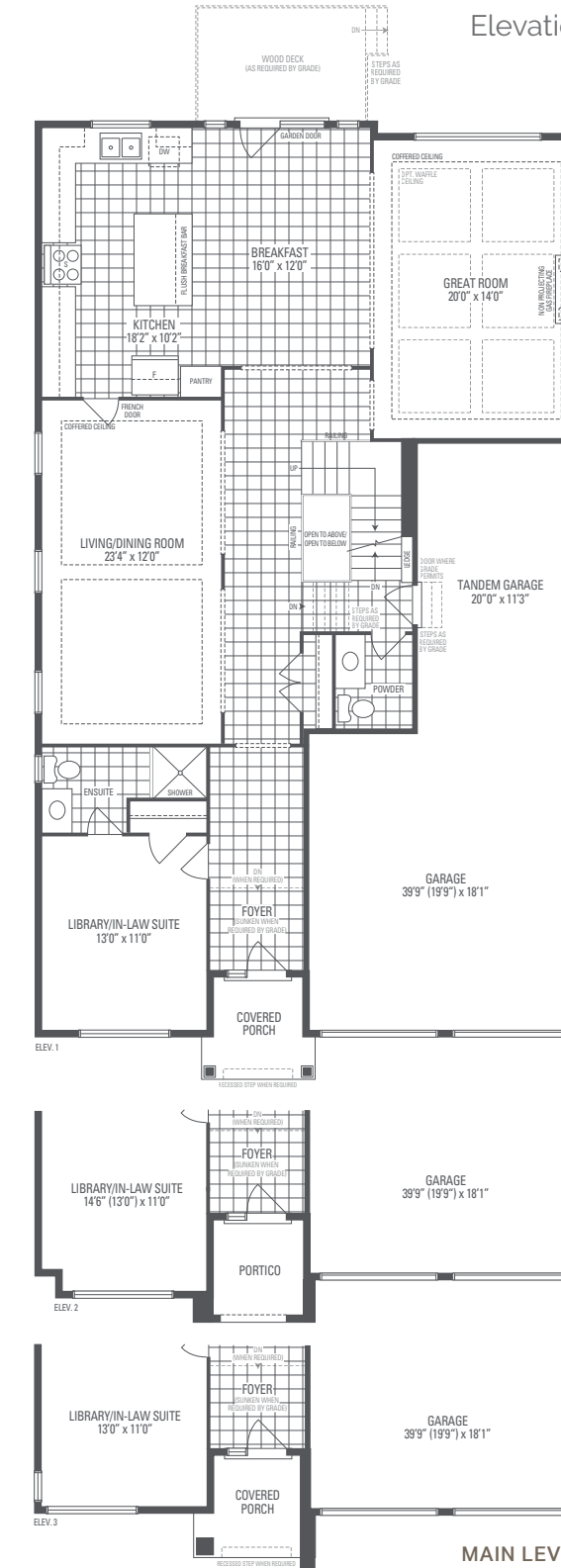
ELEVATION 3

Main exterior building materials for front include: Elev. 1 • Cultured Stone + Brick + Painted Products, Elev. 2 • Cultured Stone + Brick + Painted Products, Elev. 3 • Cultured Stone + Brick + Prefinished Aluminum Siding  
Dancing Forests • 45' • November 2024

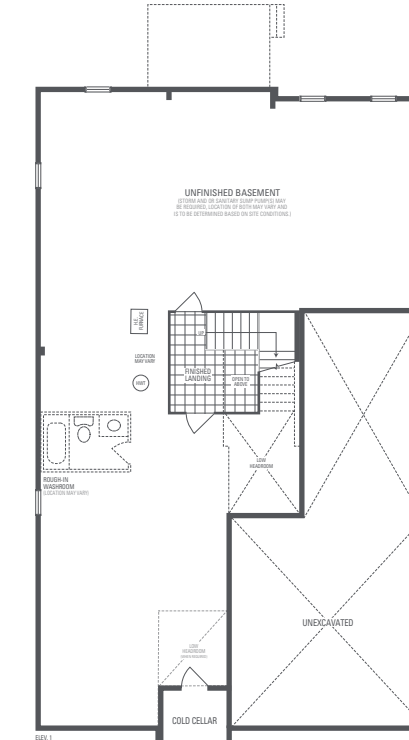
NOTE: Orientation of home may be reversed and purchaser agrees to accept the same. Unit setback and roofline may vary due to siting. Steps may vary at any exterior entrance ways due to grading variance. All dimensions are approximate only and subject to change without notice. Actual usable floor space may vary from stated floor area. All renderings are artist's concept, specifications, architectural and mechanical detailing are subject to minor modifications. Mechanical wall encroachments may be required into finished rooms and garage spaces. E.&O.E.

# Riviera 6

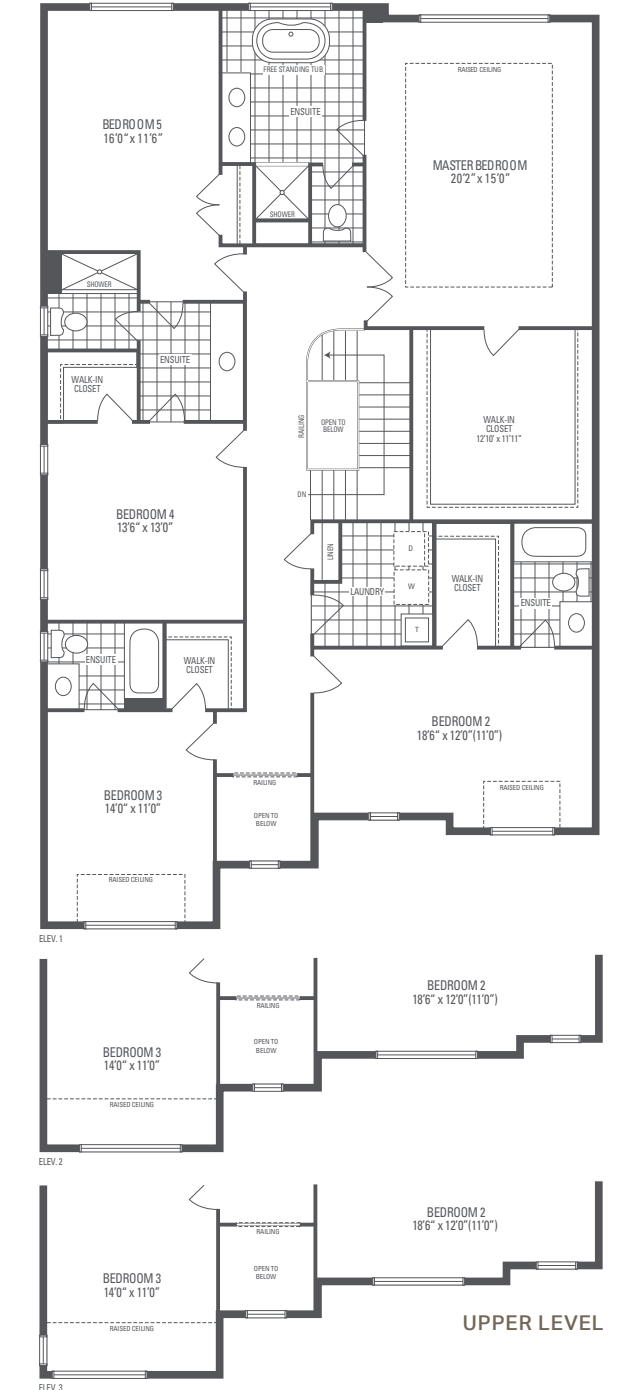
Elevation 1 • 3,987 sq.ft. | Elevation 2 • 4,007 sq.ft. | Elevation 3 • 3,987 sq.ft.  
(Add 74 sq.ft. of Finished Basement Landing)



MAIN LEVEL



LOWER LEVEL



UPPER LEVEL

# Features & Finishes



BAYVIEW TRAIL

## Seville Series | FEATURES & FINISHES | 36' Singles

### EXTERIOR

- Basement foundation walls are poured concrete with heavy duty damp proofing and a superior free draining membrane wrap.
- Poured concrete front porches with upgraded brick ledge precast steps as per plans and elevations, loose precast concrete steps will be used when grading requires less than three (3) steps.
- Poured reinforced concrete garage floor slab.
- The walkway from the driveway to the front entry and the rear patio (where applicable) are of patterned precast slabs.
- All exterior wall construction is designed to meet or exceed all Ontario Building Code requirements; exterior walls will be of 2" x 6" wall studs.
- Basement walls will be insulated near full height to R-20.
- Attic insulation will be blown in at R-60 and exposed floors will be spray foamed to R-31.
- All window and doorframes and building perforations are caulked with Dymeric type caulking.
- All windows (excluding basement) are Energy Star rated white or coloured vinyl thermal pane casement windows with pre-finished white or coloured colonial bars (on front elevations only), as per exterior colour scheme. All operable windows to have insect screens.
- Metal insulated front entry door with inset glass pane lite complete with weather stripping, deadbolt lock and grip set.
- Pre-finished aluminum soffits, fascia, eavestroughs and downspouts.
- Premium moulded paneled sectional roll up garage doors in a variety of enhanced designs with inset door lites (as per plans and elevations) with long life hardware.
- Front, rear and side yards are fully sodded (where applicable, side yards may be gravel in lieu of sod at builder's discretion) and driveways (where applicable) are paved.
- Self sealing quality architectural asphalt roof shingles with manufacturer's limited life-time warranty.
- Steep roof pitches to enhance elevations.
- Antique-style black finish coach lights on front elevations.
- Dead bolt locks for all exterior swinging doors to dwelling units.
- Pre-finished, long lasting front porch railings (if required by design or grade).
- Friezeboards on front elevations as per plans and brochures.
- All brick veneer construction is 100% all clay brick, elevations also feature cultured stone, stucco, aluminum siding and traditional wood detailing as per plans and elevations.
- Brick veneer installed above all windows on side and rear elevations (where applicable as per plans and elevations).
- Architecturally controlled elevations, materials, streetscapes and exterior colour schemes for the purpose of creating an aesthetically pleasing community.

### INTERIOR

- Cold Cellars as per plans.
- All archways are flat and trimmed (where applicable) for added durability and are 8' high for the main floor and 7'-8" in height for the second floor (where applicable).
- All interior wood trim and woodwork is primed and painted (choice of one) Birch or Oyster.
- Choice of (one) interior passage locks; satin nickel knobs or satin nickel lever handle with privacy locks for all bathrooms. Front door gripset(s) in satin nickel.
- Choice of interior passage doors: smooth raised six panel square top or textured raised two panel curved top. Front exterior door and all main floor doors are 8' in height.
- Ceiling for all main floor areas (excluding open to above areas) will have a smooth painted finish. Second floor areas (excluding bathrooms) will have a textured spray finish with smooth boarders.
- Quality latex paint on interior walls (two selections per home) from builder's samples.
- All closets have pre-finished melamine shelving and metal dowels.
- Elegant Builder's upgrade 1 quality constructed and furniture finished kitchen cabinetry with full backing, underblocking and quality hardware. Colour matched kickplates, full gable ends and dummy doors on peninsulas and islands, flush or raised breakfast bars (as per plans where applicable).
- Builder's standard selection granite countertops in the kitchen and servery (where applicable) with drop in kitchen sink. Standard arborite countertops in the powder room and bathrooms.
- Elegant 41 inch high upper kitchen cabinet doors with crown moulding.
- Forty (40") tall mirrors above all vanities.
- Colour matched ceramic accessories; towel bar, tissue dispenser and soap dish in all bathrooms.
- Elegant natural finish oak railings, upgraded 3-1/2" newel posts and upgraded 1-3/4" oak pickets from first to second floor.
- Master bedrooms complete with an ensuite bathroom as per plans.

- All drywall applied with screws, using a minimum number of nails and drywall clips for upper hall ceilings to minimize repairs in the future.
- All sub-floors are tongue and groove; nailed and glued down.
- Roof truss beams with hurricane ties to minimize truss uplift and repairs in the future.
- The first and second floor will be framed with an engineered wood floor joist system for optimum performance and quality.
- Gas Fireplace and Wood Mantel as per plans and brochures.
- Heavy upgraded colonial trim with 3" wide casing with integral backband and 5-1/4" high baseboards.
- Quality imported ceramic main floor tiles in the foyer, kitchen, breakfast area, powder room, main or second floor laundry rooms and throughout the main hall, where applicable as per our brochures.
- Elegant 3-1/4" wide natural finish oak plank flooring throughout the main floor and upper hallway (where applicable) except for those areas covered by ceramic tile (as per brochures).
- Builder's upgrade 2 high quality broadloom for second floor areas not covered by plank flooring or ceramic tile as per brochures.
- Quality imported ceramic tile on upstairs bathroom floors, bathtub and shower enclosure walls up to and including the ceilings (except for deck tubs which include the full height walls only).
- Ceiling height on the main floor is 10 feet high with the second floor ceiling height of 9 feet high.
- Poured concrete floor in the basement with a floor drain by the furnace and in the cold room(s) as per plan.

### PLUMBING

- Upgraded ledgeback double compartment stainless steel sink in the kitchen with upgraded Moen chrome finish single lever faucet with pullout spray.
- Laundry rooms on the main or second floors have single basin laundry tubs mounted with full base cabinets and upper cabinets for storage above.
- All laundry rooms have hot and cold water and drain provisions for future automatic clothes washer.
- Exterior water taps, with inside shut-off valves, located at the rear of the house and in the garage or front of the house (where applicable).
- White lavatory sinks, water closets and bathtubs.
- Luxurious drop-in soaker bathtub for master bedroom ensuite as per plans and brochure.
- Shower with prefabricated base and standard 2-panel framed acrylic door for family bath ensuite.
- Premium Moen washerless chrome single lever faucets for all bathroom lavatory sinks with manufacturer's limited long-term warranty.
- Moen chrome single lever pressure balance/temperature controlled shower faucets for safety and comfort.
- All sinks and water closets have water shut-off valves for serviceability and convenience.
- Full height shower backer board for ceramic tiles in all shower enclosures as per plan.
- Efficient water saving water closets that comply with the most recent building codes.
- Water supply and drain provisions for future dishwasher in the kitchen.
- Rough-in drain provisions for future 3-piece washroom in the basement.

### ELECTRICAL

- All copper wiring throughout the home.
- 200 amp. electrical service with circuit breaker panel with rough-in for electric car charger.
- White Decora switches and plugs throughout the house.
- Interior light fixtures in every room, hallway and walk-in closets excluding living rooms or great rooms where switched wall receptacles are provided for future lamps.
- Recessed shower potlight in all separate shower stalls.
- All bathroom electrical receptacles with a ground fault detector circuit for safety around water.
- An exterior weatherproof electrical receptacle in the rear yard and front porch (where applicable).
- Split-circuit electrical outlets above the kitchen counter for future small appliances.
- Heavy Duty cable and receptacle for future stove and dryer.
- Interconnected smoke alarms on each level including the basement as per the Ontario Building Code.
- Carbon Monoxide Detector(s) as per the Ontario Building Code.
- Electrical outlet(s) in the garage ceiling for future garage door opener(s).
- Front door electric door chime.
- Rough-in central vacuum system (dropped to the basement) with dedicated electrical outlet in the attached garages or basement where applicable.
- Rough-in electrical wire for future dishwasher in the kitchen.

- Two-speed white kitchen exhaust fan vented to the outside (6" in diameter).
- All bathrooms (with or without windows) have exhaust fans vented to the outside.
- High efficiency, spark ignition, forced air gas furnace with set-back thermostats for the greatest savings, reliability and quite comfort. High Efficiency Natural Gas fired Water Heater (on a rental basis).
- All supply ducts and return air ducts are sized and ready for future central air conditioning.

### SMART HOME AUTOMATION FEATURES

- One (1) Smart Home Hub controller.
- One (1) front door smart doorbell camera with 2-way talk function.
- One (1) smart thermostat, centrally located to control heating and cooling that can save money on utility bills.
- One (1) flood sensor to notify you in the case of a flood and prevent further damage to your home.
- One (1) smart light wall switch.
- One (1) year free of smart home remote access and full home Smart System support.
- Pre-Construction design consultation.
- On-site system configuration test, enrollment and demonstration.
- Rough-in telecommunications/network wiring in all bedrooms, kitchen and the family room or great room.
- Please see flyer or speak to our sales agent for more details.

### WARRANTY

Starlane Home Corporation is a registered TARIION Homebuilder in good standing and every new home is enrolled in the TARIION warranty program and the warranty includes:

- The home is free from defects in material and workmanship for one (1) year.
- The home remains free from defects in material and workmanship on electrical, plumbing, heating delivery and distribution systems, exterior cladding, caulking, windows and doors, and the building envelope and basement remains free from water penetration for two (2) years.
- The hoe is warranted against all major structural defects for seven (7) years.

### CERTIFIED MASTER BUILDER

Starlane Home Corporation has been awarded the Certified Master Builder designation by the Residential Construction Council of Central Ontario (RESCON), this designation is awarded on the basis of:



- Outstanding efforts in the areas of construction and customer service.
- Recipients have, and continue to exceed the provisions of the Ontario Building Code.
- Starlane Home Corporation has been recognized as an exceptional low-rise builder within the industry.

### NOTES

- All illustrations are artist's concepts.
- The purchaser acknowledges that the floor plan may be reversed.
- The purchaser acknowledges that the specifications, landscaping, finishes and furnishings etc. in the model home(s) or sales offices may be for display purposes only and may not be of the similar grade or type or not necessarily included in the purchase of the home.
- The vendor reserves the right to substitute materials that are of equal or better quality.
- The purchaser acknowledges that variations in colour and shade uniformity may occur in finished materials, kitchen and vanity cabinets and floor and wall finishes due to normal production processes. E. & O. E.

# Monaco Series | FEATURES & FINISHES | 40’ Singles

## EXTERIOR

- Basement foundation walls are poured concrete with heavy duty damp proofing and a superior free draining membrane wrap.
- Poured concrete front porches with upgraded brick ledge precast steps as per plans and elevations, loose precast concrete steps will be used when grading requires less than three (3) steps.
- Poured reinforced concrete garage floor slab.
- The walkway from the driveway to the front entry and the rear patio (where applicable) are of patterned precast slabs.
- All exterior wall construction is designed to meet or exceed all Ontario Building Code requirements; exterior walls will be of 2” x 6” wall studs.
- Basement walls will be insulated near full height to R-20.
- Attic insulation will be blown in at R-60 and exposed floors will be spray foamed to R-31.
- All window and doorframes and building perforations are caulked with Dymeric type caulking.
- All windows (excluding basement) are Energy Star rated white or coloured vinyl thermal pane casement windows with pre-finished white or coloured colonial bars (on front elevations only), as per exterior colour scheme. All operable windows to have insect screens.
- Metal insulated front entry door with inset glass pane lite complete with weather stripping, deadbolt lock and grip set.
- Pre-finished aluminum soffits, fascia, eavestroughs and downspouts.
- Premium moulded paneled sectional roll up garage doors in a variety of enhanced designs with inset door lites (as per plans and elevations) with long life hardware.
- Front, rear and side yards are fully sodded (where applicable, side yards may be gravel in lieu of sod at builder’s discretion) and driveways (where applicable) are paved.
- Self sealing quality architectural asphalt roof shingles with manufacturer’s limited life-time warranty.
- Steep roof pitches to enhance elevations.
- Antique-style black finish coach lights on front elevations.
- Dead bolt locks for all exterior swinging doors to dwelling units.
- Pre-finished, long lasting front porch railings (if required by design or grade).
- Friezeboards on front elevations as per plans and brochures.
- All brick veneer construction is 100% all clay brick, elevations also feature cultured stone, stucco, aluminum siding and traditional wood detailing as per plans and elevations.
- Brick veneer installed above all windows on side and rear elevations (where applicable as per plans and elevations).
- Architecturally controlled elevations, materials, streetscapes and exterior colour schemes for the purpose of creating an aesthetically pleasing community.

## INTERIOR

- Cold Cellars as per plans.
- All archways are flat and trimmed (where applicable) for added durability and are 8’ high for the main floor and 7-8” in height for the second floor (where applicable).
- All interior wood trim and woodwork is primed and painted (choice of one) Birch or Oyster.
- Choice of (one) interior passage locks; satin nickel knobs or satin nickel lever handle with privacy locks for all bathrooms. Front door gripset(s) in satin nickel.
- Choice of interior passage doors: smooth raised six panel square top or textured raised two panel curved top. Front exterior door and all main floor doors are 8’ in height.
- Ceiling for all main floor areas (excluding open to above areas) will have a smooth painted finish. Second floor areas (excluding bathrooms) will have a textured spray finish with smooth boarders.
- Quality latex paint on interior walls (two selections per home) from builder’s samples.
- All closets have pre-finished melamine shelving and metal dowels.
- Elegant Builder’s quality constructed and furniture finished upgrade 1 kitchen cabinetry with full backing, underblocking and quality hardware. Colour matched kickplates, full gable ends and dummy doors on peninsulas and islands, flush or raised breakfast bars (as per plans where applicable).
- Builder’s standard selection granite countertops in the kitchen and servery (where applicable) with drop in kitchen sink. Standard arborite countertops in the powder room and bathrooms.
- Elegant 41 inch high upper kitchen cabinet doors with crown moulding.
- Fourty (40”) tall mirrors above all vanities.
- Colour matched ceramic accessories; towel bar, tissue dispenser and soap dish in all bathrooms.
- Elegant natural finish oak stairs and railings with upgraded 3-1/2” newel posts and upgraded 1-3/4” oak pickets from first to second floor.

- Master bedrooms complete with an ensuite bathroom as per plans.
- All drywall applied with screws, using a minimum number of nails and drywall clips for upper hall ceilings to minimize repairs in the future.
- All sub-floors are tongue and groove; nailed and glued down.
- Roof truss beams with hurricane ties to minimize truss uplift and repairs in the future.
- The first and second floor will be framed with an engineered wood floor joist system for optimum performance and quality.
- Builder’s standard Gas Fireplace and Wood Mantel as per plans and brochures.
- Heavy upgraded colonial trim with 3” wide casing with integral backband and 7-1/4” high baseboards.
- Quality imported ceramic main floor tiles in the foyer, kitchen, breakfast area, powder room, main or second floor laundry rooms and throughout the main hall, where applicable as per our brochures.
- Elegant 3-1/4” wide natural finish oak plank flooring throughout the main floor (where applicable) except for those areas covered by ceramic tile (as per brochures).
- 3-1/4” wide natural finish oak plank flooring in the upper hall (as per brochures).
- Builder’s upgrade 2 high quality broadloom for second floor areas not covered by plank flooring or ceramic tile as per brochures.
- Quality imported ceramic tile on upstairs bathroom floors, bathtub and shower enclosure walls up to and including the ceilings (except for deck tubs which include the full height walls only).
- Ceiling height on the main floor is 10 feet high with a second floor ceiling height of 9’ high.
- Poured concrete floor in the basement with a floor drain by the furnace and in the cold room(s) as per plan.

## PLUMBING

- Upgraded ledgeback double compartment stainless steel sink in the kitchen with upgraded Moen chrome finish single lever faucet with pullout spray.
- Laundry rooms on the main or second floors have single basin laundry tubs mounted with full base cabinets and upper cabinets for storage above.
- All laundry rooms have hot and cold water and drain provisions for future automatic clothes washer.
- Exterior water taps, with inside shut-off valves, located at the rear of the house and in the garage or front of the house (where applicable).
- White lavatory sinks, water closets and bathtubs.
- Luxurious freestanding tub for master bedroom ensuite as per plans and brochure.
- Shower with prefabricated base and standard 2-panel framed acrylic door for family bath ensuite. Frameless shower door for master ensuite shower.
- Premium Moen washerless chrome single lever faucets for all bathroom lavatory sinks with manufacturer’s limited long-term warranty.
- Moen chrome single lever pressure balance/temperature controlled shower faucets for safety and comfort.
- All sinks and water closets have water shut-off valves for serviceability and convenience.
- Full height shower backer board for ceramic tiles in all shower enclosures as per plan.
- Efficient water saving water closets that comply with the most recent building codes.
- Water supply and drain provisions for future dishwasher in the kitchen.
- Rough-in drain provisions for future 3-piece washroom in the basement.

## ELECTRICAL

- All copper wiring throughout the home.
- 200 amp electrical service with circuit breaker panel and rough-in for electric car charger in the garage.
- White Decora switches and plugs throughout the house.
- Interior light fixtures in every room, hallway and walk-in closets excluding living rooms or great rooms where switched wall receptacles are provided for future lamps.
- Recessed shower potlight in all separate shower stalls.
- All bathroom electrical receptacles with a ground fault detector circuit for safety around water.
- An exterior weatherproof electrical receptacle in the rear yard and front porch (where applicable).
- Split-circuit electrical outlets above the kitchen counter for future small appliances.
- Heavy Duty cable and receptacle for future stove and dryer.
- Interconnected smoke alarms on each level including the basement as per the Ontario Building Code.
- Carbon Monoxide Detector(s) as per the Ontario Building Code.
- Electrical outlet(s) in the garage ceiling for future garage door opener(s).

- Front door electric door chime.
- Rough-in central vacuum system (dropped to the basement) with dedicated electrical outlet in the attached garages or basement where applicable.
- Rough-in electrical wire for future dishwasher in the kitchen.
- Two-speed white kitchen exhaust fan vented to the outside (6” in diameter).
- All bathrooms (with or without windows) have exhaust fans vented to the outside.
- High efficiency, spark ignition, forced air gas furnace with set-back thermostats for the greatest savings, reliability and quite comfort. High Efficiency Natural Gas fired Water Heater (on a rental basis).
- All supply ducts and return air ducts are sized and ready for future central air conditioning.

## SMART HOME AUTOMATION FEATURES

- One (1) Smart Home Hub controller.
- One (1) front door smart doorbell camera with 2-way talk function.
- One (1) smart thermostat, centrally located to control heating and cooling that can save money on utility bills.
- One (1) flood sensor to notify you in the case of a flood and prevent further damage to your home.
- One (1) smart light wall switch.
- One (1) year free of smart home remote access and full home Smart System support.
- Pre-Construction design consultation.
- On-site system configuration test, enrollment and demonstration.
- Rough-in telecommunications/network wiring in all bedrooms, kitchen and the family room or great room.
- Please see flyer or speak to our sales agent for more details.

## WARRANTY

Starlane Home Corporation is a registered TARION Homebuilder in good standing and every new home is enrolled in the TARION warranty program and the warranty includes:

- The home is free from defects in material and workmanship for one (1) year.
- The home remains free from defects in material and workmanship on electrical, plumbing, heating delivery and distribution systems, exterior cladding, caulking, windows and doors, and the building envelope and basement remains free from water penetration for two (2) years.
- The home is warranted against all major structural defects for seven (7) years.

## CERTIFIED MASTER BUILDER

Starlane Home Corporation has been awarded the Certified Master Builder designation by the Residential Construction Council of Central Ontario (RESCON), this designation is awarded on the basis of:



- Outstanding efforts in the areas of construction and customer service.
- Recipients have, and continue to exceed the provisions of the Ontario Building Code.
- Starlane Home Corporation has been recognized as an exceptional low-rise builder within the industry.

## NOTES

- All illustrations are artist’s concepts.
- The purchaser acknowledges that the floor plan may be reversed.
- The purchaser acknowledges that the specifications, landscaping, finishes and furnishings etc. in the model home(s) or sales offices may be for display purposes only and may not be of the similar grade or type or not necessarily included in the purchase of the home.
- The vendor reserves the right to substitute materials that are of equal or better quality.
- The purchaser acknowledges that variations in colour and shade uniformity may occur in finished materials, kitchen and vanity cabinets and floor and wall finishes due to normal production processes. E. & O.E.

# Riviera Series | FEATURES & FINISHES | 45’ Singles

## EXTERIOR

- Basement foundation walls are poured concrete with heavy duty damp proofing and a superior free draining membrane wrap.
- Poured concrete front porches with upgraded brick ledge precast steps as per plans and elevations, loose precast concrete steps will be used when grading requires less than three (3) steps.
- Poured reinforced concrete garage floor slab.
- The walkway from the driveway to the front entry and the rear patio (where applicable) are of patterned precast slabs.
- All exterior wall construction is designed to meet or exceed all Ontario Building Code requirements; exterior walls will be of 2” x 6” wall studs.
- Basement walls will be insulated near full height to R-20.
- Attic insulation will be blown in at R-60 and exposed floors will be spray foamed to R-31.
- All window and doorframes and building perforations are caulked with Dymeric type caulking.
- All windows (excluding basement) are Energy Star rated white or coloured vinyl thermal pane casement windows with pre-finished white or coloured colonial bars (on front elevations only), as per exterior colour scheme. All operable windows to have insect screens.
- Metal insulated front entry door with inset glass pane lite complete with weather stripping, deadbolt lock and grip set.
- Pre-finished aluminum soffits, fascia, eavestroughs and downspouts.
- Premium moulded paneled sectional roll up garage doors in a variety of enhanced designs with inset door lites (as per plans and elevations) with long life hardware.
- Front, rear and side yards are fully sodded (where applicable, side yards may be gravel in lieu of sod at builder’s discretion) and driveways (where applicable) are paved.
- Self sealing quality architectural asphalt roof shingles with manufacturer’s limited life-time warranty.
- Steep roof pitches to enhance elevations.
- Antique-style black finish coach lights on front elevations..
- Dead bolt locks for all exterior swinging doors to dwelling units.
- Pre-finished, long lasting front porch railings (if required by design or grade).
- Friezeboards on front elevations as per plans and brochures.
- All brick veneer construction is 100% all clay brick, elevations also feature cultured stone, stucco, aluminum siding and traditional wood detailing as per plans and elevations.
- Brick veneer installed above all windows on side and rear elevations (where applicable as per plans and elevations).
- Architecturally controlled elevations, materials, streetscapes and exterior colour schemes for the purpose of creating an aesthetically pleasing community.

## INTERIOR

- Cold Cellars as per plans.
- All archways are flat and trimmed (where applicable) for added durability and are 8’ high for the main floor and 7-8” in height for the second floor (where applicable).
- All interior wood trim and woodwork is primed and painted (choice of one) Birch or Oyster.
- Choice of (one) interior passage locks; satin nickel knobs or satin nickel lever handle with privacy locks for all bathrooms. Front door gripset(s) in satin nickel.
- Choice of smooth two panelled interior passage doors – square or curved top. Front exterior door and all main floor doors are 8’ in height.
- Ceiling for all main floor areas (excluding open to above areas) will have a smooth painted finish. Second floor areas (excluding bathrooms) will have a textured spray finish with smooth boarders.
- Quality latex paint on interior walls (two selections per home) from builder’s samples.
- All closets have pre-finished melamine shelving and metal dowels.
- Elegant Builder’s quality constructed and furniture finished upgrade 2 kitchen cabinetry with full backing, underblocking and quality hardware. Colour matched kickplates, full gable ends and dummy doors on peninsulas and islands, flush or raised breakfast bars (as per plans where applicable).
- Builder’s standard selection quartz countertops in the kitchen and servery (where applicable) with builder’s standard undermount stainless steel kitchen sink. Standard quartz countertops with standard undermount sink in the powder room and bathrooms.
- Elegant 41 inch high upper kitchen cabinet doors with crown moulding.
- Forty (40”) tall mirrors above all vanities.
- Colour matched ceramic accessories; towel bar, tissue dispenser and soap dish in all bathrooms.
- Elegant natural finish or builder’s standard selection stained finish oak stairs and railings with upgraded 3-1/2” newel posts and upgraded 1-3/4” oak pickets from basement to second floor.

- Master bedrooms complete with an ensuite bathroom as per plans.
- All drywall applied with screws, using a minimum number of nails and drywall clips for upper hall ceilings to minimize repairs in the future.
- All sub-floors are tongue and groove; nailed and glued down.
- Roof truss beams with hurricane ties to minimize truss uplift and repairs in the future.
- The first and second floor will be framed with an engineered wood floor joist system for optimum performance and quality.
- Builder’s standard Gas Fireplace and Wood Mantel as per plans and brochures.
- Heavy upgraded colonial trim with 3” wide casing with integral backband and 7-1/4” high baseboards.
- Quality imported ceramic main floor tiles in the foyer, kitchen, breakfast area, powder room, main or second floor laundry rooms and throughout the main hall, where applicable as per our brochures.
- Elegant 3-1/4” wide natural finish or builder’s standard selection stained oak plank flooring throughout the main floor (where applicable) except for those areas covered by ceramic tile (as per brochures).
- 3-1/4” wide natural finish or builder’s standard selection stained oak plank in the upper hall (as per brochures).
- Builder’s upgrade 2 high quality broadloom for second floor areas not covered by plank flooring or ceramic tile as per brochures.
- Quality imported ceramic tile on upstairs bathroom floors, bathtub and shower enclosure walls up to and including the ceilings (except for deck tubs which include the full height walls only).
- Basement Walls poured to a height of 8’6” high
- Ceiling height on the main floor is 10 feet high with a second floor ceiling height of 9’ high.
- Poured concrete floor in the basement with a floor drain by the furnace and in the cold room(s) as per plan.
- Open Stairs to basement with a finished landing (only, as per plans and brochures).

## PLUMBING

- Upgraded undermount double compartment stainless steel sink in the kitchen with upgraded Moen chrome finish single lever faucet with pullout spray.
- Laundry rooms on the main or second floors have single basin laundry tubs mounted with full base cabinets and upper cabinets for storage above.
- All laundry rooms have hot and cold water and drain provisions for future automatic clothes washer.
- Exterior water taps, with inside shut-off valves, located at the rear of the house and in the garage or front of the house (where applicable).
- White lavatory sinks, water closets and bathtubs.
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## ELECTRICAL

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- White Decora switches and plugs throughout the house.
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- Recessed shower potlight in all separate shower stalls.
- All bathroom electrical receptacles with a ground fault detector circuit for safety around water.
- An exterior weatherproof electrical receptacle in the rear yard and front porch (where applicable).
- Split-circuit electrical outlets above the kitchen counter for future small appliances.
- Heavy Duty cable and receptacle for future stove and dryer.
- Interconnected smoke alarms on each level including the basement as per the Ontario Building Code.

- Carbon Monoxide Detector(s) as per the Ontario Building Code.
- Electrical outlet(s) in the garage ceiling for future garage door opener(s).
- Front door electric door chime.
- Rough-in central vacuum system (dropped to the basement) with dedicated electrical outlet in the attached garages or basement where applicable.
- Rough-in electrical wire for future dishwasher in the kitchen.
- Two-speed white kitchen exhaust fan vented to the outside (6” in diameter).
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# Starlane Homes

For over 30 years, Starlane has been a name synonymous with quality and trust. The family-run business has built and sold over 11,000 new homes across the GTA and in that time, the company's commitment to excellence has never wavered. Starlane's exceptional work has been recognized by renowned associations like Ontario's Home Builder Association, BILD (Building Industry and Land Development Association) and RESCON (Residential Construction Council of Ontario).



# Your Five-Star Home Builder





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